Stafford Field Office
300 S. Main Street
Stafford, Kansas 67578-1521

Kansas
Department of Agriculture
Division of Water Resources

Phone: (620) 234-5311
Fax: (620) 234-6900
www.agriculture.ks.gov

Jackie McClaskey, Secretary
David W. Barfield, Chief Engineer
Jeff Lanterman, Water Commissioner
Sam Brownback, Governor

September 14, 2017

Faith Mennonite Church
1403 S. Main St.
South Hutchinson, KS 67505

Re: Pending Application, File No. 49,736

Dear Sir or Madam:

This is to advise you that Prairie Land Management LLC has filed the application referred to above for a permit to appropriate surface water at the rate of natural flows to be stored in a proposed reservoir. The application is requesting to appropriate 40 acre-feet of surface water per calendar year for recreational use. The proposed point of diversion for 49,736 is a pond & dam located as follows:

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Sincerely,

Matthew J Meier

Matt Meier
Environmental Scientist
Water Appropriations Program

Enclosure

pc:

SCANNED

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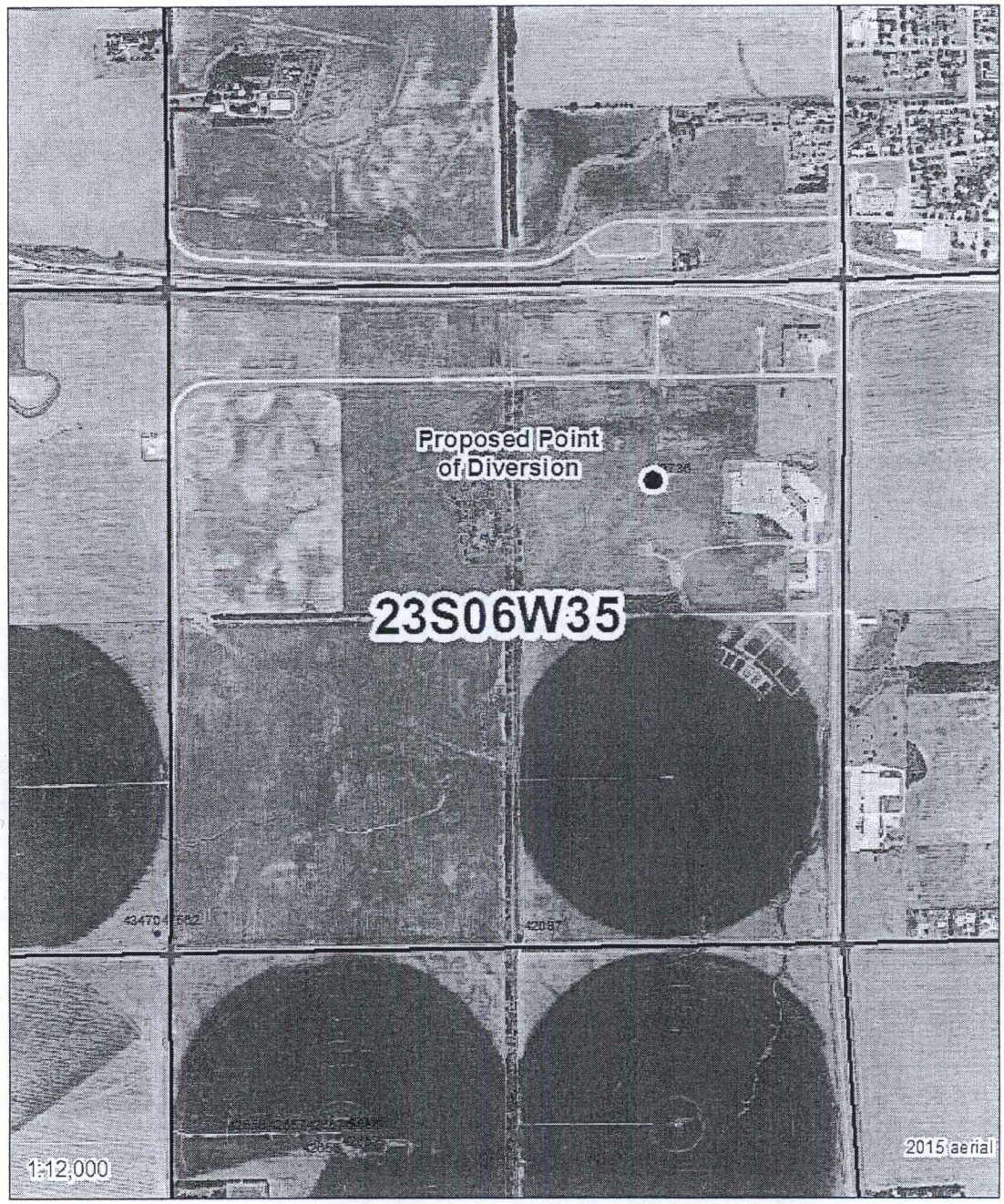

0 650 1,300 2,600 3,900 5,200 Feet

Legend
Section Corners
Section Lines

Proposed Water Appropriation, File No. 49736
35-23S-6W
Reno County

N

MJM-DWR 9/13/17

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September 14, 2017

CTP LLC
1515 S. Main St.
South Hutchinson, KS 67505

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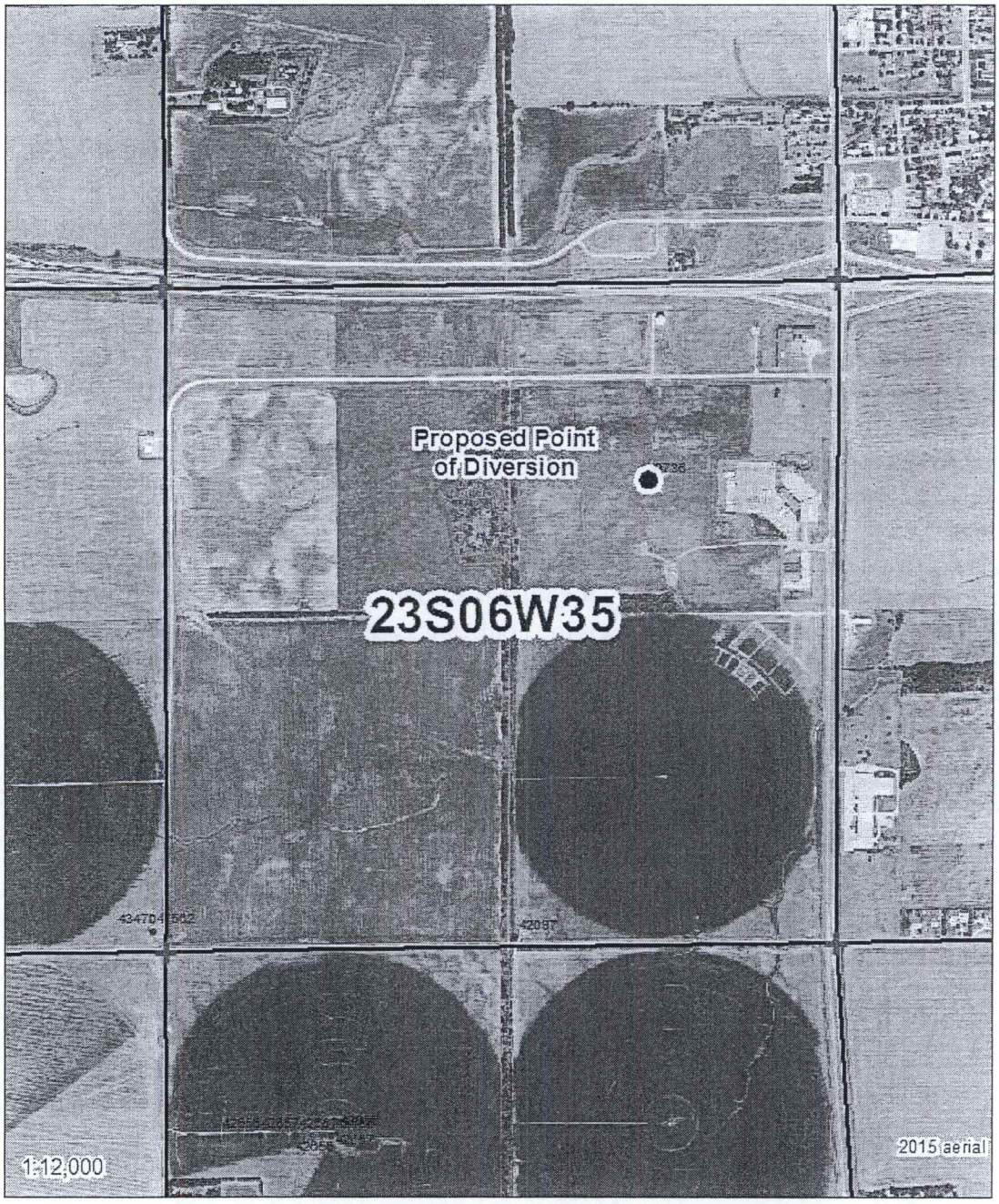

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September 14, 2017

Larry D Doskocil Liv Trust
00000 S. K96 Hwy
Hutchinson, KS 67501

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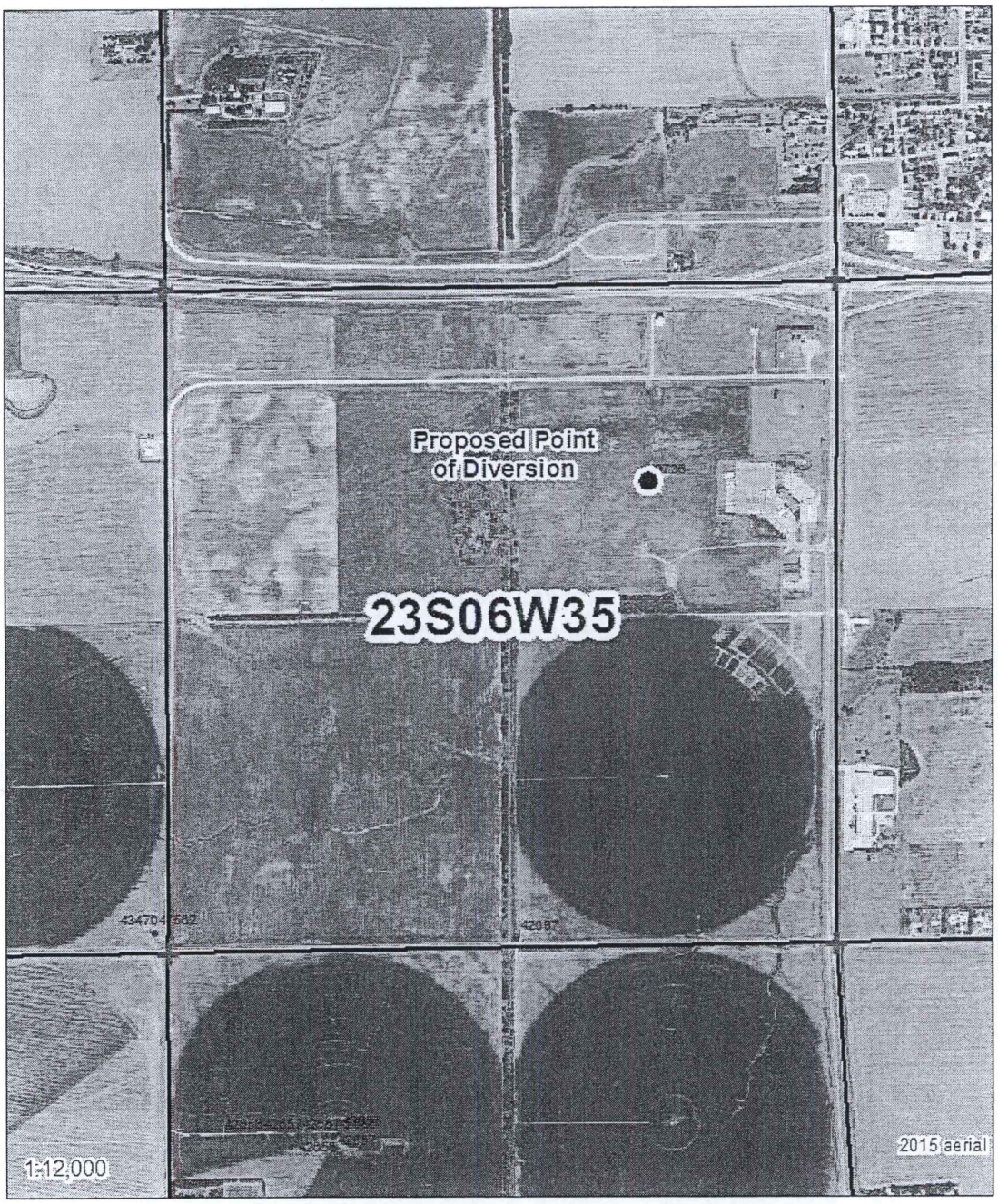

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September 14, 2017

John R & Gloria Evans Revocable Trust
00000 S. K96 Hwy
Hutchinson, KS 67501

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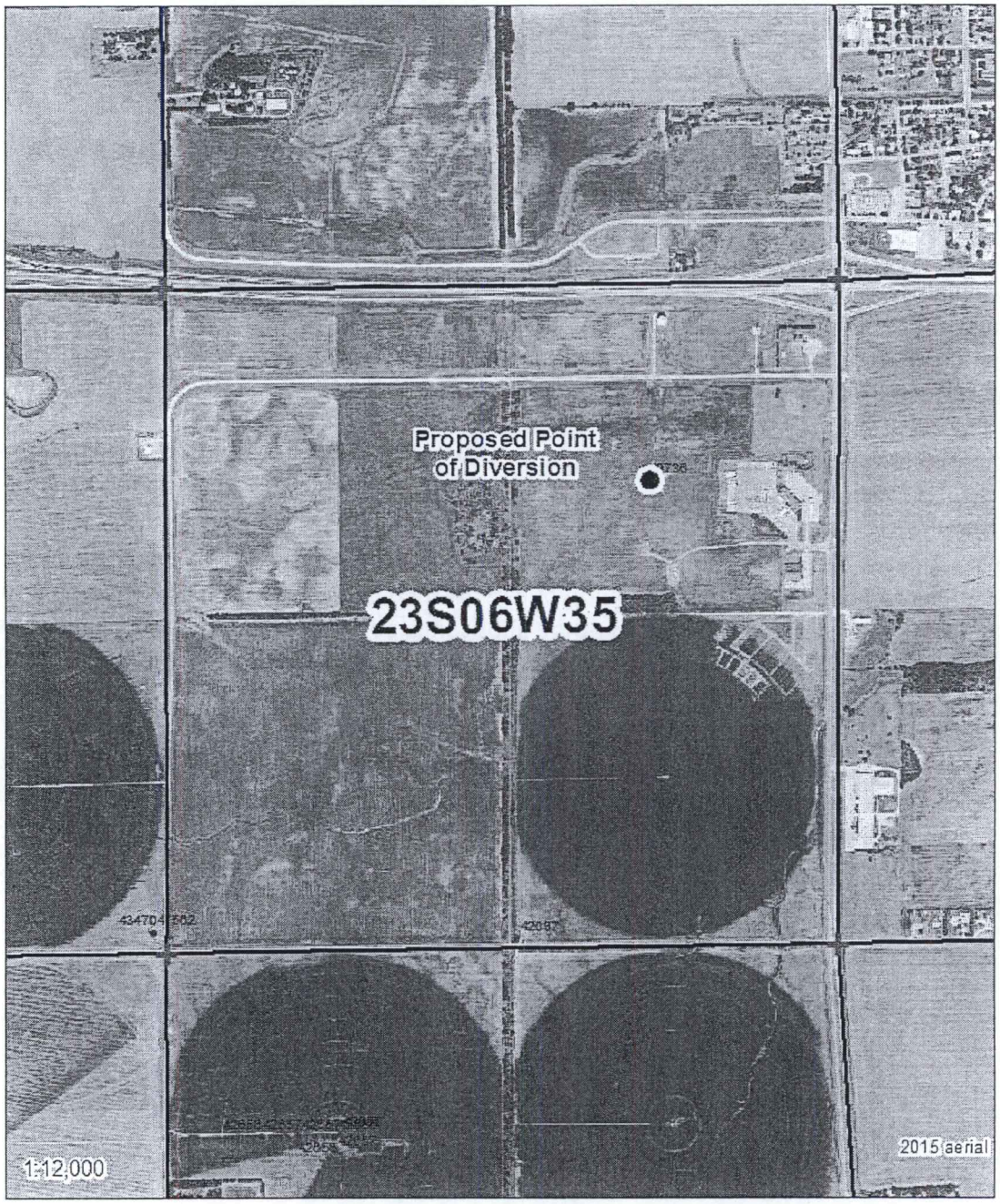

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David W. Barfield, Chief Engineer
Jeff Lanterman, Water Commissioner

Sam Brownback, Governor

September 14, 2017

Three E LLC
2006 S Main St.
South Hutchinson, KS 67505

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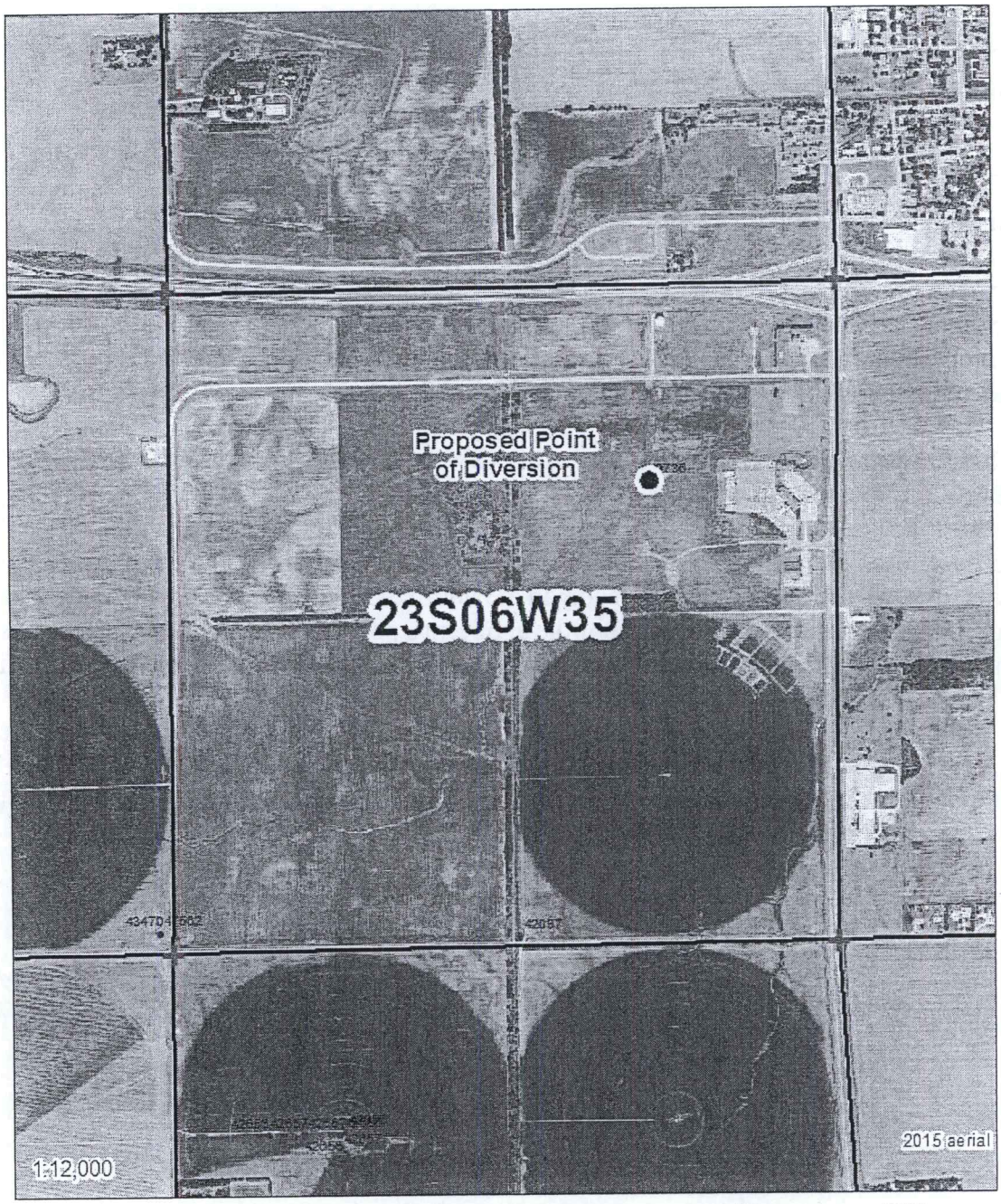

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September 14, 2017

Breitenback Realty, Inc
00000 S. K96 Hwy
Hutchinson, KS 67501

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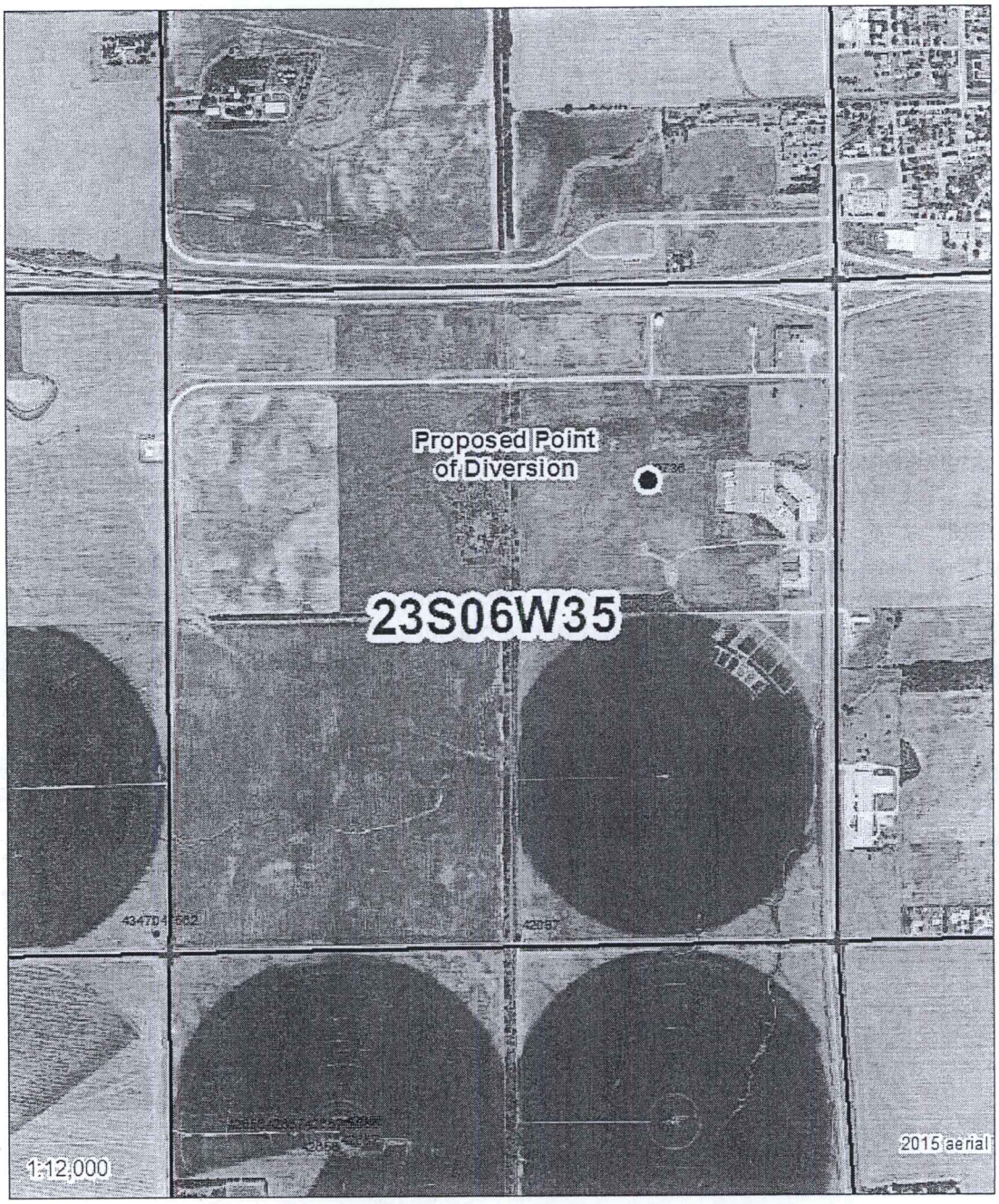

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MJM-DWR 9/13/17

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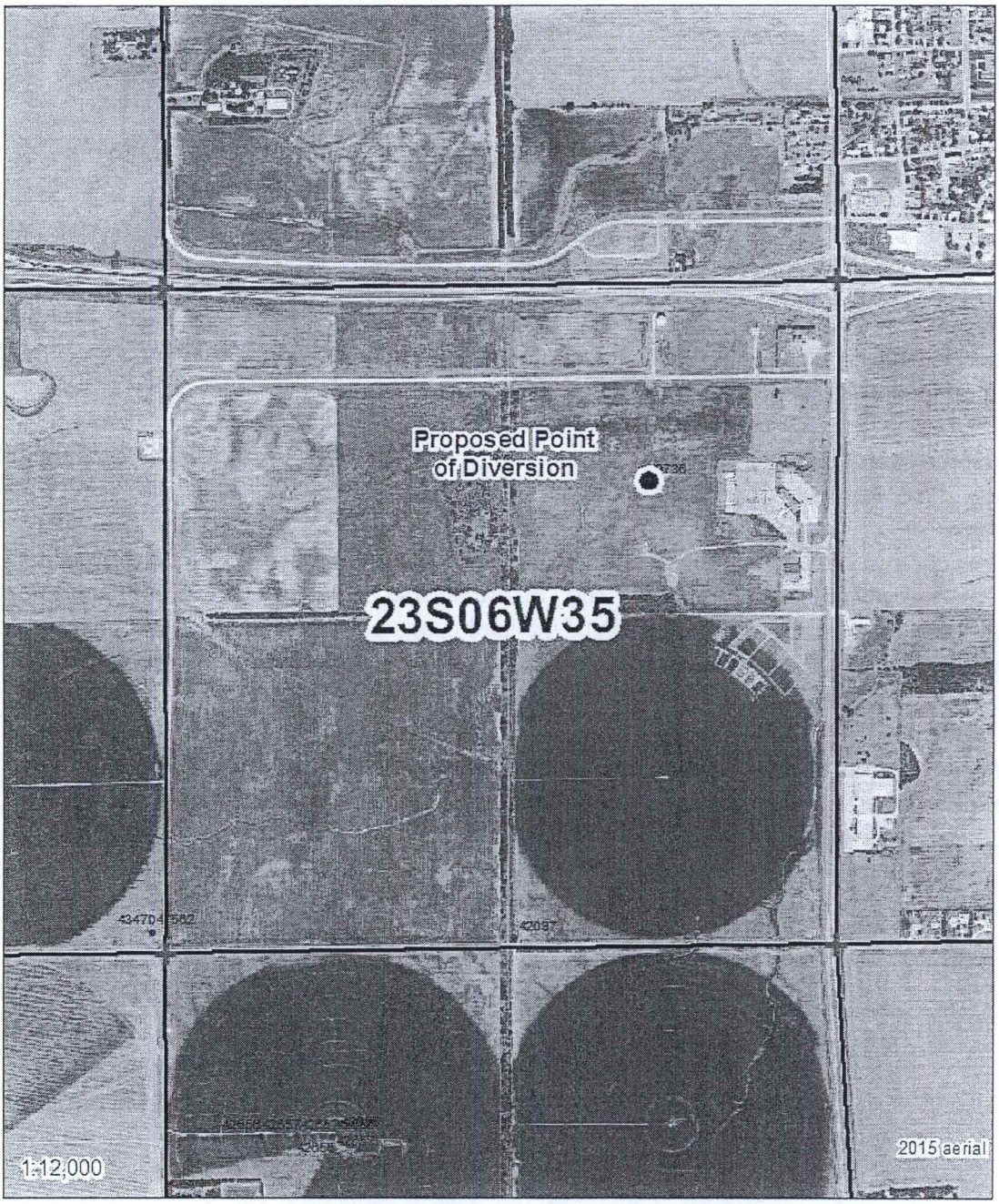

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MJM-DWR 9/13/17

THE STATE OF KANSAS

KANSAS DEPARTMENT OF AGRICULTURE
Jackie McClaskey, Secretary of Agriculture

DIVISION OF WATER RESOURCES
David W. Barfield, Chief Engineer

File Number 49736
This item to be completed by the Division of Water Resources.

WATER RESOURCES RECEIVED
DEC 02 2016
12:30
KS DEPT OF AGRICULTURE

APPLICATION FOR PERMIT TO APPROPRIATE WATER FOR BENEFICIAL USE

Filing Fee Must Accompany the Application
(Please refer to Fee Schedule attached to this application form.)

To the Chief Engineer of the Division of Water Resources, Kansas Department of Agriculture, 1320 Research Park Drive, Manhattan, KS 66502:

1. Name of Applicant (Please Print): Prairie Land Managerment LLC
   Address: 4104 South Herron Road
   City: Hutchinson State KS Zip Code 67501
   Telephone Number: (620) 727-4291

2. The source of water is: X surface water in Unnamed Trib. to Arkansas River (stream)
   OR ☐ groundwater in _____ (drainage basin)

   Certain streams in Kansas have minimum target flows established by law or may be subject to administration when water is released from storage for use by water assurance district members. If your application is subject to these regulations on the date we receive your application, you will be sent the appropriate form to complete and return to the Division of Water Resources.

3. The maximum quantity of water desired is 40.0 acre-feet OR _____ gallons per calendar year, to be diverted at a maximum rate of ~~500~~ NF gallons per minute OR _____ cubic feet per second.
   natural flows

   Once your application has been assigned a priority, the requested maximum rate of diversion and maximum requested quantity of water under that priority number can **NOT** be increased. Please be certain your requested maximum rate of diversion and maximum quantity of water are appropriate and reasonable for your proposed project and are in agreement with the Division of Water Resources' requirements.

4. The water is intended to be appropriated for **(Check use intended):**

(a) ☐ Artificial Recharge	(b) ☐ Irrigation	(c) X Recreational	(d) ☐ Water Power
(e) ☐ Industrial	(f) ☐ Municipal	(g) ☐ Stockwatering	(h) ☐ Sediment Control
(i) ☐ Domestic	(j) ☐ Dewatering	(k) ☐ Hydraulic Dredging	(l) ☐ Fire Protection
(m) ☐ Thermal Exchange	(n) ☐ Contamination Remediation	x-Stormwater Detention	

YOU **MUST** COMPLETE AND ATTACH ADDITIONAL DIVISION OF WATER RESOURCES FORM(S) PROVIDING INFORMATION TO SUBSTANTIATE YOUR REQUEST FOR THE AMOUNT OF WATER FOR THE INTENDED USE REFERENCED ABOVE.

For Office Use Only:
F.O. 2 *GMD* 2 *Meets K.A.R. 5-3-1* (YES) / NO) *Use* REC *Source* G / S *County* RN *By* KAB *Date* 12/2/16
Code REG *Fee $* 200 *TR #* _____ *Receipt Date* 12/2/16 *Check #* 297

DWR 1-100 (Revised 02/12/2014)

SCANNED

File No. _____

5. The location of the proposed wells, pump sites or other works for diversion of water is:

Note: For the application to be accepted, the point of diversion location must be described to at least a 10 acre tract, unless you specifically request a 60 day period of time in which to locate the site within a specifically described, minimal legal quarter section of land.

(A) One in the _____ quarter of the ~~SE~~ SW quarter of the NE quarter of Section 35 more particularly described as being near a point ~~920'~~ 3560 feet North and 1500' feet West of the Southeast corner of said section, in Township 23 South, Range 6 East/West (circle one), Reno County, Kansas.

*per phone call w/ Harlan Faraker on 12-2-16

(B) One in the _____ quarter of the _____ quarter of the _____ quarter of Section _____, more particularly described as being near a point _____ feet North and _____ feet West of the Southeast corner of said section, in Township _____ South, Range _____ East/West (circle one), _____ County, Kansas.

(C) One in the _____ quarter of the _____ quarter of the _____ quarter of Section _____, more particularly described as being near a point _____ feet North and _____ feet West of the Southeast corner of said section, in Township _____ South, Range _____ East/West (circle one), _____ County, Kansas.

(D) One in the _____ quarter of the _____ quarter of the _____ quarter of Section _____, more particularly described as being near a point _____ feet North and _____ feet West of the Southeast corner of said section, in Township _____ South, Range _____ East/West (circle one), _____ County, Kansas.

If the source of supply is groundwater, a separate application shall be filed for each proposed well or battery of wells, except that a single application may include up to four wells within a circle with a quarter (¼) mile radius in the same local source of supply which do not exceed a maximum diversion rate of 20 gallons per minute per well.

A battery of wells is defined as two or more wells connected to a common pump by a manifold; or not more than four wells in the same local source of supply within a 300 foot radius circle which are being operated by pumps not to exceed a total maximum diversion rate of 800 gallons per minute and which supply water to a common distribution system.

6. The owner of the point of diversion, if other than the applicant is (please print):

_____
(name, address and telephone number)

_____
(name, address and telephone number)

You must provide evidence of legal access to, or control of, the point of diversion from the landowner or the landowner's authorized representative. Provide a copy of a recorded deed, lease, easement or other document with this application. In lieu thereof, you may sign the following sworn statement:

> I have legal access to, or control of, the point of diversion described in this application from the landowner or the landowner's authorized representative. I declare under penalty of perjury that the foregoing is true and correct.
>
> Executed on _____, 20 16 _____
> Applicant's Signature

The applicant must provide the required information or signature irrespective of whether they are the landowner. Failure to complete this portion of the application will cause it to be unacceptable for filing and the application will be returned to the applicant.

7. The proposed project for diversion of water will consist of grassed weir for pond outlet (number of wells, pumps or dams, etc.) and (was) (will be) completed (by) 3-1-17 (Month/Day/Year - each was or will be completed).

8. The first actual application of water for the proposed beneficial use was or is estimated to be 4-1-17 (Mo/Day/Year).

WATER RESOURCES RECEIVED
DEC 02 2016

WATER RESOURCES RECEIVED
DEC 01 2016

UNACCEPTABLE FOR PRIORITY

SCANNED

WATER RESOURCES
RECEIVED

WATER RESOURCES
RECEIVED

NEW STREAM WORKSHEET

ES AJW

Date: 12/5/16

File No. 491736

Basin Name: Arkansas River

Basin No. 33

Stream Name: Arkansas River Trib 10 A (Ark)

Stream location (confluence with parent stream):

Section 25, Township 23 South, Range 6 ~~(East)~~ West

Map Color Coding:
Basin Stream – Blue
Named Main Stream off Basin Stream – Yellow
Named Stream off Main Stream – Green
Unnamed Trib (1, 2, 3, 4, etc.) – Pink
Unnamed Trib to Unnamed Trib (A, B, C, etc.) – Orange
Unnamed Trib to Unnamed Trib to Unnamed Trib (1, 2, 3, etc.) – Purple

---

Stream No. 3 8 9 2 (computer assigned - entered by data entry staff)

Date Entered 12/6/2016 By LM

DWR 1-676 (02-19-2004)

SCANNED

NEW STREAM WORKSHEET

ES AdW

Date: 12/5/16

File No. 49,736

Basin Name: Arkansas River

Basin No. 33

Stream Name: Arkansas River Trib 10 (Arkansas)

Stream location (confluence with parent stream):

Section 33, Township 23 South, Range 5 ~~(East)~~ West

Map Color Coding:
Basin Stream – Blue
Named Main Stream off Basin Stream – Yellow
Named Stream off Main Stream – Green
Unnamed Trib (1, 2, 3, 4, etc.) – Pink
Unnamed Trib to Unnamed Trib (A, B, C, etc.) – Orange
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Stream No. 3 8 9 1 (computer assigned - entered by data entry staff)

Date Entered 12/6/2016 By LCM

DWR 1-676 (02-19-2004)

SCANNED

File No. _____

9. Will pesticide, fertilizer, or other foreign substance be injected into the water pumped from the diversion works?

   ☐ Yes x No If "yes", a check valve shall be required.

   All chemigation safety requirements must be met including a chemigation permit and reporting requirements.

10. If you are planning to impound water, please contact the Division of Water Resources for assistance, prior to submitting the application. Please attach a reservoir area capacity table and inform us of the total acres of surface drainage area above the reservoir.

    Have you also made an application for a permit for construction of this dam and reservoir with the Division of Water Resources? ☐ Yes x No

    - If yes, show the Water Structures permit number here _____
    - If no, explain here why a Water Structures permit is not required No dam is being constructed. A pit pond is being proposed. Also DWR permit is not required as drainage basin is less than 1 sq. mile and structure is non-jurisdictional.

11. The application must be supplemented by a U.S.G.S. topographic map, aerial photograph or a detailed plat showing the following information. On the topographic map, aerial photograph, or plat, identify the center of the section, the section lines or the section corners and show the appropriate section, township and range numbers. Also, please show the following information:

    (a) The location of the proposed point(s) of diversion (wells, stream-bank installations, dams, or other diversion works) should be plotted as described in Paragraph No. 5 of the application, showing the North-South distance and the East-West distance from a section line or southeast corner of section.

    (b) If the application is for groundwater, please show the location of any existing water wells of any kind within ½ mile of the proposed well or wells. Identify each existing well as to its use and furnish the name and mailing address of the property owner or owners. If there are no wells within ½ mile, please advise us.

    (c) If the application is for surface water, the names and addresses of the landowner(s) ½ mile downstream and ½ mile upstream from your property lines must be shown.

    (d) The location of the proposed place of use should be shown by crosshatching on the topographic map, aerial photograph or plat.

    (e) Show the location of the pipelines, canals, reservoirs or other facilities for conveying water from the point of diversion to the place of use.

    A 7.5 minute U.S.G.S. topographic map may be obtained by providing the section, township and range numbers to: Kansas Geological Survey, 1930 Constant, Campus West, University of Kansas, Lawrence, Kansas 66047.

12. List any application, appropriation of water, water right, or vested right file number that covers the same diversion points or any of the same place of use described in this application. Also list any other recent modifications made to existing permits or water rights in conjunction with the filing of this application.

_____

_____

_____

_____

_____

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File No. _____

13. Furnish the following well information if the proposed appropriation is for the use of groundwater. If the well has not been completed, give information obtained from test holes, if available.

Information below is from: ☐ Test holes ☐ Well as completed ☐ Drillers log attached

Well location as shown in paragraph No.	(A)	(B)	(C)	(D)
Date Drilled				
Total depth of well				
Depth to water bearing formation				
Depth to static water level				
Depth to bottom of pump intake pipe				

14. The relationship of the applicant to the proposed place where the water will be used is that of Owner.
(owner, tenant, agent or otherwise)

15. The owner(s) of the property where the water is used, if other than the applicant, is (please print):

_____
(name, address and telephone number)

_____
(name, address and telephone number)

16. The undersigned states that the information set forth above is true to the best of his/her knowledge and that this application is submitted in good faith.

Dated at Hutchinson, Kansas, this _____ day of November (month), 2016 (year).

Richard Graber
(Applicant Signature)

By _____
(Agent or Officer Signature)

Richard Graber
(Agent or Officer - Please Print)

Assisted by _____ _____ Date: _____
(office/title)

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_____
(Date)

Kansas Department of Agriculture
Division of Water Resources
David W. Barfield, Chief Engineer
109 SW 9th Street, 2nd Floor
Topeka, Kansas 66612-1283

Re: Application
File No. _____

Minimum Desirable Streamflow

Dear Sir:

I understand that a Minimum Desirable Streamflow requirement has been established by the legislature for the source of supply to which the above referenced application applies.

I understand that diversion of water pursuant to this application will be subject to regulation any time Minimum Desirable Streamflow requirements are not being met.

I also understand that if this application is approved, there could be times, as determined by the Division of Water Resources, when I would not be allowed to divert water. I realize that this could affect the economics of my decision to appropriate water.

I am aware of the above factors, and with the knowledge thereof, request that the Division of Water Resources proceed with processing and approval, if possible, of the above referenced application.

Signature of Applicant

State of Kansas)
) ss
County of Reno)

Richard Graber. Prairie Land
(Print Applicant's Name)

I hereby certify that the foregoing instrument was signed in my presence and sworn to before me this 16 day of November, 20 16.

Richard L. Kollhoff
Notary Public

My Commission Expires: 2-22-19

RICHARD L. KOLLHOFF
Notary Public - State of Kansas
My Appt. Expires 2-22-19

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DWR 1000.27 (Revised 08/27/2008)

RECREATIONAL USE
SUPPLEMENTAL SHEET

File No. _____

Name of Applicant (Please Print): Richard Graber, Prairie Land Construction

1. Please indicate type of recreational use (boating, fishing, swimming, etc.): _____
   Pond is required to provide detention storage and water quality for Commercial development. Pond will be used for RV park fishing and swimming.

2. Please summarize how the water will be used and justify the quantity of water requested: _____
   Pond will be used for RV park recreation including fishing and swimming.
   Proposed pond surface area is 192,492 sq.ft. = 4.42 acres.
   Annual Evaporation = 4.42 acres x 26"/12=9.58 acre-feet.

3. Please complete the following table showing estimated future water requirements:

ESTIMATED FUTURE WATER DIVERTED/STORED

NEXT 5 YEARS	WATER TO BE DIVERTED (ACRE-FEET OR GALLONS)
Year 1	28.73 acre-feet(Pond Filling)
Year 2	28.73 acre-feet(Annual evaporation and seepage)
Year 3	28.73 acre-feet(Annual evaporation and seepage)
Year 4	28.73 acre-feet(Annual evaporation and seepage)
Year 5	28.73 acre-feet(Annual evaporation and seepage)

Please attach any additional information, tables, or curves showing past, present and estimated future water requirements to substantiate the amount of water requested.

4. Please designate the legal description of the location where the water is to be used by providing the fractional part of the Section, Township and Range.
   SW 1/4, NE 1/4, Sec. 35, T.23S., R.6W., Reno County, KS

You may attach any additional information you believe will assist in informing the Division of the need for your request.

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Frontier Commerce Park

Tue Nov 22 2016 12:26:37 PM.

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1320 Research Park Drive
Manhattan, Kansas 66502
Jackie McClaskey, Secretary

Kansas
Department of Agriculture

Phone: (785) 564-6700
Fax: (785) 564-6777
Email: ksag@kda.ks.gov
www.agriculture.ks.gov
Sam Brownback, Governor

December 5, 2016

PRAIRIE LAND MANAGEMENT LLC
4104 S HERRON RD
HUTCHINSON KS 67501

FILE COPY

RE: Application
File No. 49736

Dear Sir or Madam:

Your application for permit to appropriate water in 35-23S-6W in Reno County, was received and has been assigned the file number noted above.

As a matter of record, the Division of Water Resources has on hand a large number of applications awaiting processing. Therefore to be fair to all concerned, and so that we can process those applications on hand in the order they were received, we intend to concentrate on the backlog of applications until the issue is resolved. Once review of your application has begun, we will contact you, if additional information is required.

In accordance with the provisions of the Kansas Water Appropriation Act, a portion of which is included below, the use of water as proposed prior to approval of the application is unlawful. Once approved, compliance with the terms, conditions and limitations of the permit is necessary. Conservation of the water resources of Kansas is required.

Section 82a-728 of the Kansas Water Appropriation Act, provides (a) except for the appropriation of water for the purpose of domestic use, . . . <u>it shall be unlawful for any person to appropriate or threaten to appropriate water from any source without first applying for and obtaining a permit to appropriate water in accordance with the provisions of the Water Appropriation Act</u> or for any person to violate any condition of a vested right, appropriation right or an approved application for a permit to appropriate water for beneficial use.

(b) (1) The violation of any provision of this section by any person is a class C misdemeanor . . .

A class C misdemeanor is punishable by a fine not to exceed $500 and/or a term of confinement not to exceed one month in the county jail. Each day that the violation occurs constitutes a separate offense.

If you have any questions, please contact me at (785) 564-6645. If you wish to discuss a specific file, please have the file number ready so that we may help you more efficiently.

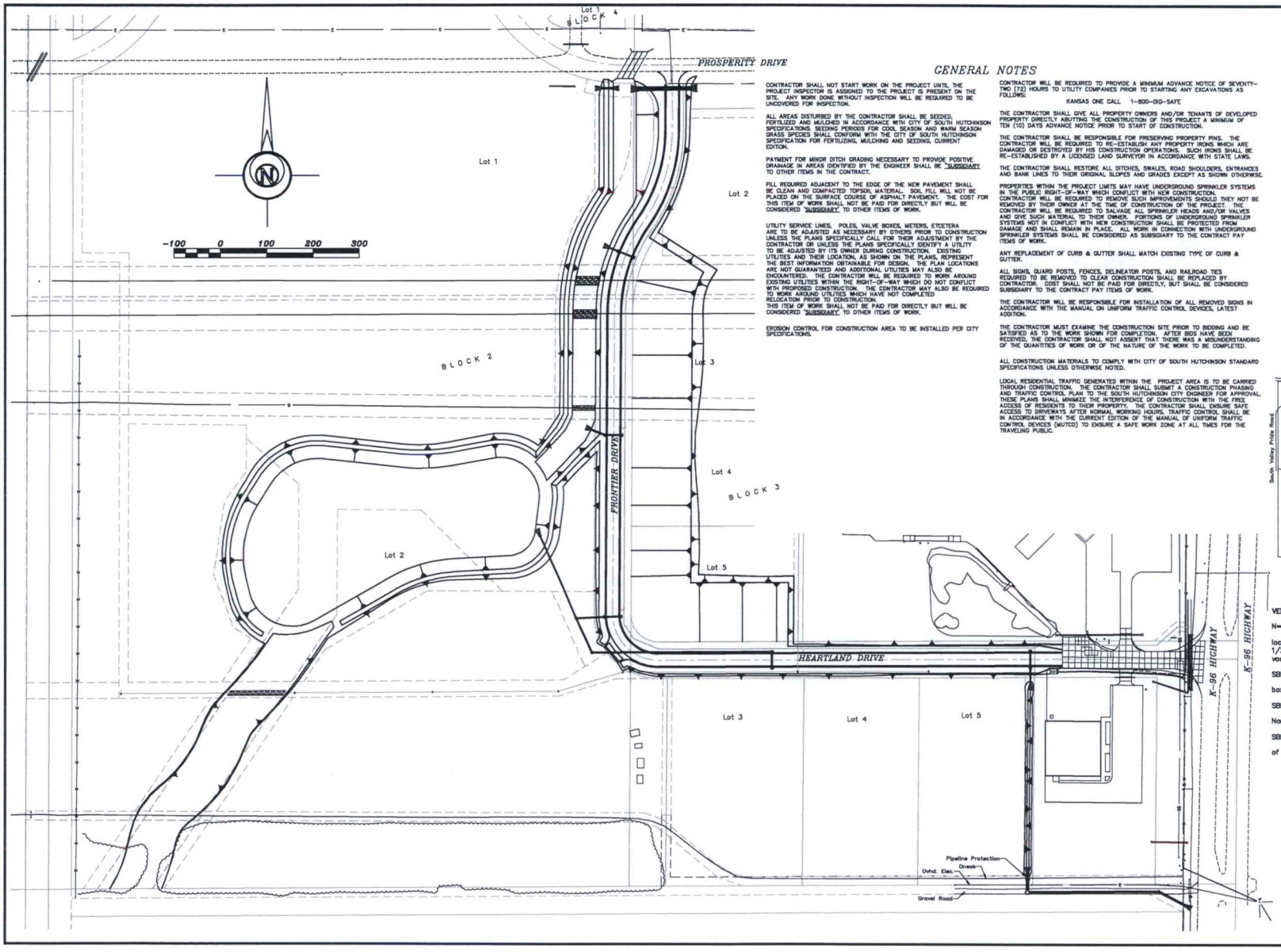
Sincerely,

Brent A. Turney

Brent A Turney, P.G.
Change Application Unit Supervisor
Water Appropriation Program

BAT: dlw
pc: STAFFORD Field Office
GMD

SCANNED



GENERAL NOTES

CONTRACTOR SHALL NOT START WORK ON THE PROJECT UNTIL THE PROJECT INSPECTOR IS ASSIGNED TO THE PROJECT IS PRESENT ON THE SITE. ANY WORK DONE WITHOUT INSPECTION WILL BE REQUIRED TO BE UNCOVERED FOR INSPECTION.

ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH CITY OF SOUTH HUTCHINSON SPECIFICATIONS. SEEDING PERIODS FOR COOL SEASON AND WARM SEASON GRASS SPECIES SHALL CONFORM WITH THE CITY OF SOUTH HUTCHINSON SPECIFICATION FOR FERTILIZING, MULCHING AND SEEDING, CURRENT EDITION.

PAYMENT FOR MINOR DITCH GRADING NECESSARY TO PROVIDE POSITIVE DRAINAGE IN AREAS IDENTIFIED BY THE ENGINEER SHALL BE "SUBSIDIARY" TO OTHER ITEMS IN THE CONTRACT.

FILL REQUIRED ADJACENT TO THE EDGE OF THE NEW PAVEMENT SHALL BE CLEAN AND COMPACTED TOPSOIL MATERIAL. SOIL FILL WILL NOT BE PLACED ON THE SURFACE COURSE OF ASPHALT PAVEMENT. THE COST FOR THIS ITEM OF WORK SHALL NOT BE PAID FOR DIRECTLY BUT WILL BE CONSIDERED "SUBSIDIARY" TO OTHER ITEMS OF WORK.

UTILITY SERVICE LINES, POLES, VALVE BOXES, METERS, ETCETERA ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE PLAN LOCATIONS ARE NOT GUARANTEED AND ADDITIONAL UTILITIES MAY ALSO BE ENCOUNTERED. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION. THE CONTRACTOR MAY ALSO BE REQUIRED TO WORK AROUND UTILITIES WHICH HAVE NOT COMPLETED RELOCATION PRIOR TO CONSTRUCTION.
THIS ITEM OF WORK SHALL NOT BE PAID FOR DIRECTLY BUT WILL BE CONSIDERED "SUBSIDIARY" TO OTHER ITEMS OF WORK.

EROSION CONTROL FOR CONSTRUCTION AREA TO BE INSTALLED PER CITY SPECIFICATIONS.

CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO (72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATIONS AS FOLLOWS:

KANSAS ONE CALL 1-800-DIG-SAFE

THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY DIRECTLY ABUTTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS ADVANCE NOTICE PRIOR TO START OF CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY PINS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.

THE CONTRACTOR SHALL RESTORE ALL DITCHES, SWALES, ROAD SHOULDERS, ENTRANCES AND BANK LINES TO THEIR ORIGINAL SLOPES AND GRADES EXCEPT AS SHOWN OTHERWISE.

PROPERTIES WITHIN THE PROJECT LIMITS MAY HAVE UNDERGROUND SPRINKLER SYSTEMS IN THE PUBLIC RIGHT-OF-WAY WHICH CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REMOVE SUCH IMPROVEMENTS SHOULD THEY NOT BE REMOVED BY THEIR OWNER AT THE TIME OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE REQUIRED TO SALVAGE ALL SPRINKLER HEADS AND/OR VALVES AND GIVE SUCH MATERIAL TO THEIR OWNER. PORTIONS OF UNDERGROUND SPRINKLER SYSTEMS NOT IN CONFLICT WITH NEW CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND SHALL REMAIN IN PLACE. ALL WORK IN CONNECTION WITH UNDERGROUND SPRINKLER SYSTEMS SHALL BE CONSIDERED AS SUBSIDIARY TO THE CONTRACT PAY ITEMS OF WORK.

ANY REPLACEMENT OF CURB & GUTTER SHALL MATCH EXISTING TYPE OF CURB & GUTTER.

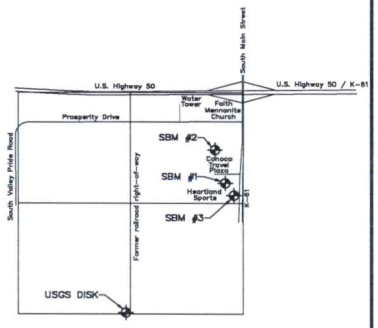
ALL SIGNS, GUARD POSTS, FENCES, DELINEATOR POSTS, AND RAILROAD TIES REQUIRED TO BE REMOVED TO CLEAR CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR. COST SHALL NOT BE PAID FOR DIRECTLY, BUT SHALL BE CONSIDERED SUBSIDIARY TO THE CONTRACT PAY ITEMS OF WORK.

THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REMOVED SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST ADDITION.

THE CONTRACTOR MUST EXAMINE THE CONSTRUCTION SITE PRIOR TO BIDDING AND BE SATISFIED AS TO THE WORK SHOWN FOR COMPLETION. AFTER BIDS HAVE BEEN RECEIVED, THE CONTRACTOR SHALL NOT ASSERT THAT THERE WAS A MISUNDERSTANDING OF THE QUANTITIES OF WORK OR OF THE NATURE OF THE WORK TO BE COMPLETED.

ALL CONSTRUCTION MATERIALS TO COMPLY WITH CITY OF SOUTH HUTCHINSON STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.

LOCAL RESIDENTIAL TRAFFIC GENERATED WITHIN THE PROJECT AREA IS TO BE CARRIED THROUGH CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION PHASING AND TRAFFIC CONTROL PLAN TO THE SOUTH HUTCHINSON CITY ENGINEER FOR APPROVAL. THESE PLANS SHALL MINIMIZE THE INTERFERENCE OF CONSTRUCTION WITH THE FREE ACCESS OF RESIDENTS TO THEIR PROPERTY. THE CONTRACTOR SHALL ENSURE SAFE ACCESS TO DRIVEWAYS AFTER NORMAL WORKING HOURS. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) TO ENSURE A SAFE WORK ZONE AT ALL TIMES FOR THE TRAVELING PUBLIC.



VERTICAL AND HORIZONTAL PROJECT CONTROL:

N=1798070.7750 E=1470973.5000
USGS Azimuth Mark disk set in concrete post stamped "Fair Az Mk" located 27 feet North of the centerline of West Morgan Avenue approximately 1/2 mile West of K-61 and 50 feet West of the former AT&SF railroad (now vacated & razed). Elevation=1546.73 (NAVD88)

SBM #1 N=1801078.7487 E=1473213.7076
Square cut on the Southwest corner of a concrete pad for an electric box that is 163ft west of the entrance to Heartland Outdoor Store. Elevation=1538.85 (NAVD88)

SBM #2 N=1801844.4099 E=1472976.1589
Blue capped rebar in concrete 167ft West and 84ft North of the Northeast corner of the Conoco Plaza Go truck parking lot. Elevation=1540.26 (NAVD88)

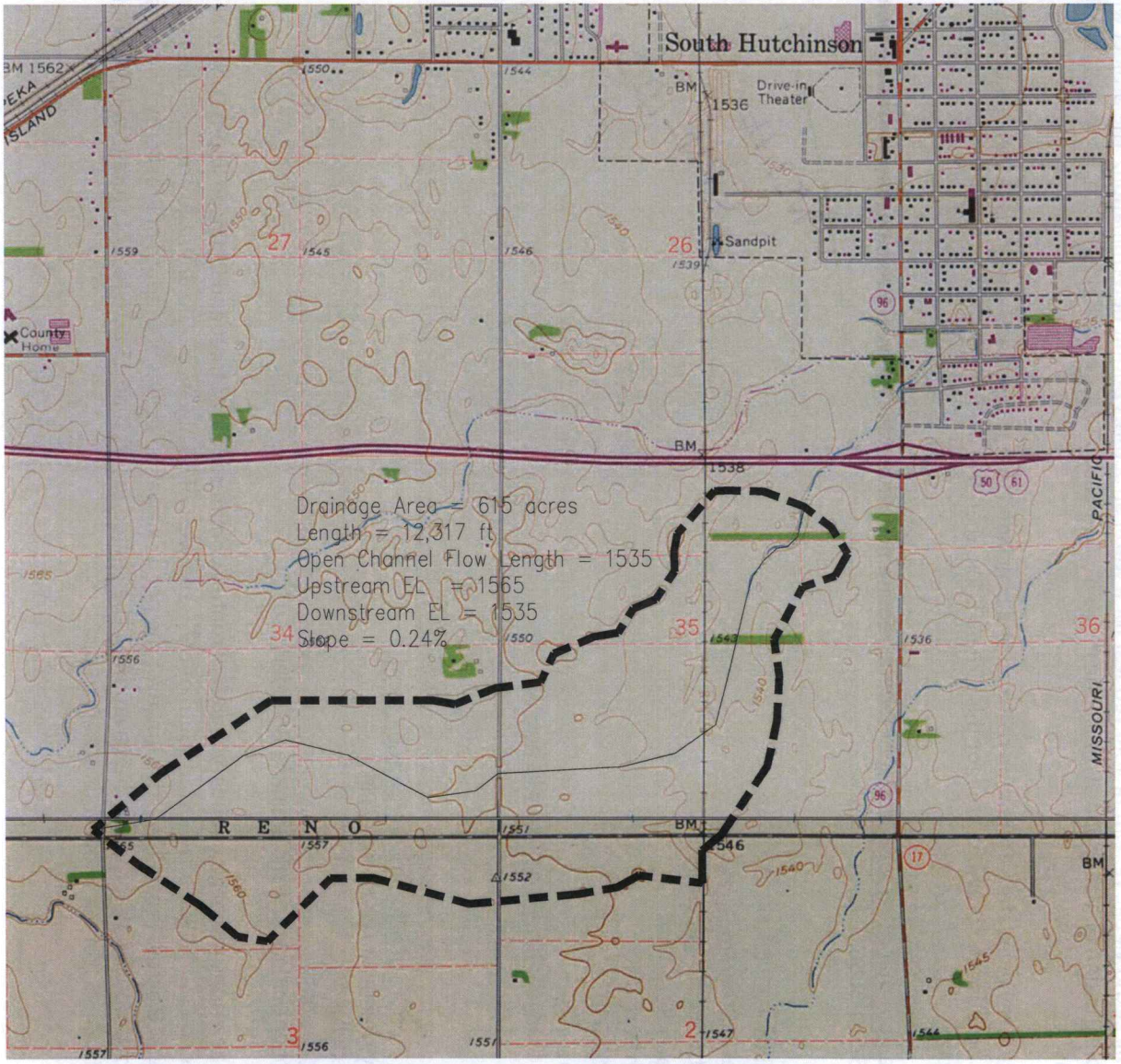
SBM #3 N=1800795.5778 E=1473408.4046
Blue square cut in the South edge of the concrete and 205 feet East of the Southwest corner of the Heartland Outdoor concrete parking lot. Elevation=1537.11 (NAVD88)

FRONTIER COMMERCE PARK
LAYOUT SHEET
STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSAS

CERTIFIED ENGINEERING DESIGN, P.A.
1935 WEST MAPLE
WICHITA, KANSAS 67213
PH.(316)262-8808 FAX.(316)262-1689

DESIGNED: HDF	SCALE: 1"=100'	SHEET 2
DRAWN: WJA	DATE: 07/20/2016	
CHECKED: HDF	CED FILE: GSS G2014-767	TOTAL 47

SCANNED


South Hutchinson
Drive-in Theater
Sandpit
County Home
R E N O
MISSOURI PACIFIC
Drainage Area = 615 acres
Length = 12,317 ft
Open Channel Flow Length = 1535
Upstream EL = 1565
Downstream EL = 1535
Slope = 0.24%

Phillips, Janelle

From: Phillips, Janelle
Sent: Wednesday, August 24, 2016 8:11 AM
To: 'Harlan Foraker'
Subject: RE: Frontier Commerce Park Drainage Boundary

This will acknowledge receipt of your request for a water structures permit determination. The project will consist of the construction of a pit pond at a location in the NE ¼ of Section 35, Township 23 South, Range 6 West, Reno County, Kansas.

We have reviewed the information received and concluded that this project is not jurisdictional under K.S.A. 82a-301 to 305a, because the drainage area for this stream is less than 640 acres. A DWR permit will not be required for this project.

Please note that other local, state, or federal requirements may still apply. If you have any questions, please contact me at 785-564-6656.

WSI # CRN-120

Janelle N. Phillips, P.E., C.F.M., LEED-AP
Water Structures Program
Kansas Department of Agriculture
Division of Water Resources
1320 Research Park Drive
Manhattan, KS 66502
785-564-6656
My email has changed: janelle.phillips@ks.gov

From: Harlan Foraker [mailto:hforaker@cedpa.com]
Sent: Tuesday, August 23, 2016 6:01 PM
To: Phillips, Janelle
Cc: lmills@cedpa.com
Subject: Frontier Commerce Park Drainage Boundary

Janelle: Attached is the drainage boundary map for Frontier Commerce Park Street and Drainage Improvement project in South Hutchinson, Reno County, KS. It is located south of US50 and west of 96 highway. The drainage area is outlined and measured to and existing RCB across Prosperity Drive however the pond excavation begins 900' south of Prosperity Drive. As site plan is attached. I am proposing that the pond excavation will be limited to less than 15 acre feet of storage volume until the water right can be obtained. Let me know your observations.

CED
Harlan D. Foraker, P.E., President
Certified Engineering Design, P.A.
1935 West Maple
Wichita, KS 67213-3311
PH:(316)262-8808
FAX:(316)262-1669

PH:(316)262-8808
FAX:(316)262-1669

Baum, Kristen

From: Harlan Foraker <hforaker@cedpa.com>
Sent: Friday, December 02, 2016 11:45 AM
To: Baum, Kristen
Subject: RE: Frontier Commerce Park Water Rights application

Yes natural flows is acceptable as I did not know what value to put for this. Also can you advise what the typical timeline is for review and consideration for approval of these water permits? I just need to advise Richard Graber what to expect. Thanks.

Harlan D. Foraker, P.E., President
Certified Engineering Design, P.A.
1935 West Maple
Wichita, KS 67213-3311
PH:(316)262-8808
FAX:(316)262-1669

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From: Baum, Kristen [mailto:Kristen.Baum@ks.gov]
Sent: Friday, December 02, 2016 11:35 AM
To: Harlan Foraker
Subject: RE: Frontier Commerce Park Water Rights application

Thanks for the additional information. One more thing I'd like to clarify – the rate of diversion you've requested is 500 gpm. This will be in the form of natural flows, correct? If so, we would describe the rate as "natural flows" rather than a specific gpm.

Thanks,

Kristen A. Baum
Division of Water Resources – Water Appropriations
Kansas Department of Agriculture
1320 Research Park Drive
Manhattan KS 66502
(785) 564-6627

My email address has changed: kristen.baum@ks.gov

From: Harlan Foraker [mailto:hforaker@cedpa.com]
Sent: Friday, December 02, 2016 11:16 AM
To: Baum, Kristen
Subject: Frontier Commerce Park Water Rights application

Kristen: Attached are the updated documents as we discussed. I checked the pond surface area at the spillway elevation and the surface area is actually 4.42 acres. Also attached is Sheet 50 which contains the final plat for Frontier Commerce Park Addition from the street improvement plans which contains the Owner's Certificate and the signature for Prairie Land Management LLC owned by Richard Graber. Please review and let me know if you have any questions or require additional information.

CED

Harlan D. Foraker, P.E., President
Certified Engineering Design, P.A.
1935 West Maple
Wichita, KS 67213-3311

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*per phone call,
3 yrs evap
w/ some initial
fill
KAB
12-2-16

LETTER OF TR

DATE: November 22, 2016

TO: Chief Engineer
Division of Water Resources
Kansas Department of Agriculture
1320 Research Park Drive
Manhattan, Kansas 66502

Re: Surface Water Rights Application
South Hutchinson, Reno County, KS

FROM: Harlan D. Foraker, P.E. HDF

COMMENTS: Attached is a surface water rights application for 30 ac-ft for a recreational pond at the Frontier Commerce Park Addition in South Hutchinson, Reno County, Kansas. A $200 application fee is attached. Please review the application, maps and plans for the proposed permit and ponds and notify us if any further information is required. If you have questions or require additional information please call me at 316.262.8808.

attachments

cc by email: Mr. Richard Graber, Prairie Land Management, 4104 S. Herron Road, Hutchinson, KS, 66501

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1) North
0781273501001002000
Faith Mennonite Church
1403 S. Main St.
South Hutchinson, KS 67505
11.64 acres

2) Gas Station
0781273501001005000
CTP LLC
1515 S. Main St.
South Hutchinson, KS 67505
19.84cres

3) East of 96
0781273602001002000
Doskocil, Larry D. Liv Trust
00000 S. K96 HWY
Hutchinson, KS 67501
67.77 acres

4) South of Frontier Commerce Park
0781273500002002000
Evans, John R & Gloria A Revocable Trust
00000 S. K96 HWY
Hutchinson, KS 67501
135.47 acres

5) Southeast
0781273600002003000
Three E LLC
2006 S. Main St.
South Hutchinson, KS 67505
4.52 Acres

6) Southeast
0781273600002004000
Breitenback Realty, Inc.
00000 S. K96 HWY
Hutchinson, KS 67501
7.48 acres

7) Southeast
0781273600002002000
Morgan, Geneva E
00000 S. K96 HWY
Hutchinson, KS 67501
43.68 acres

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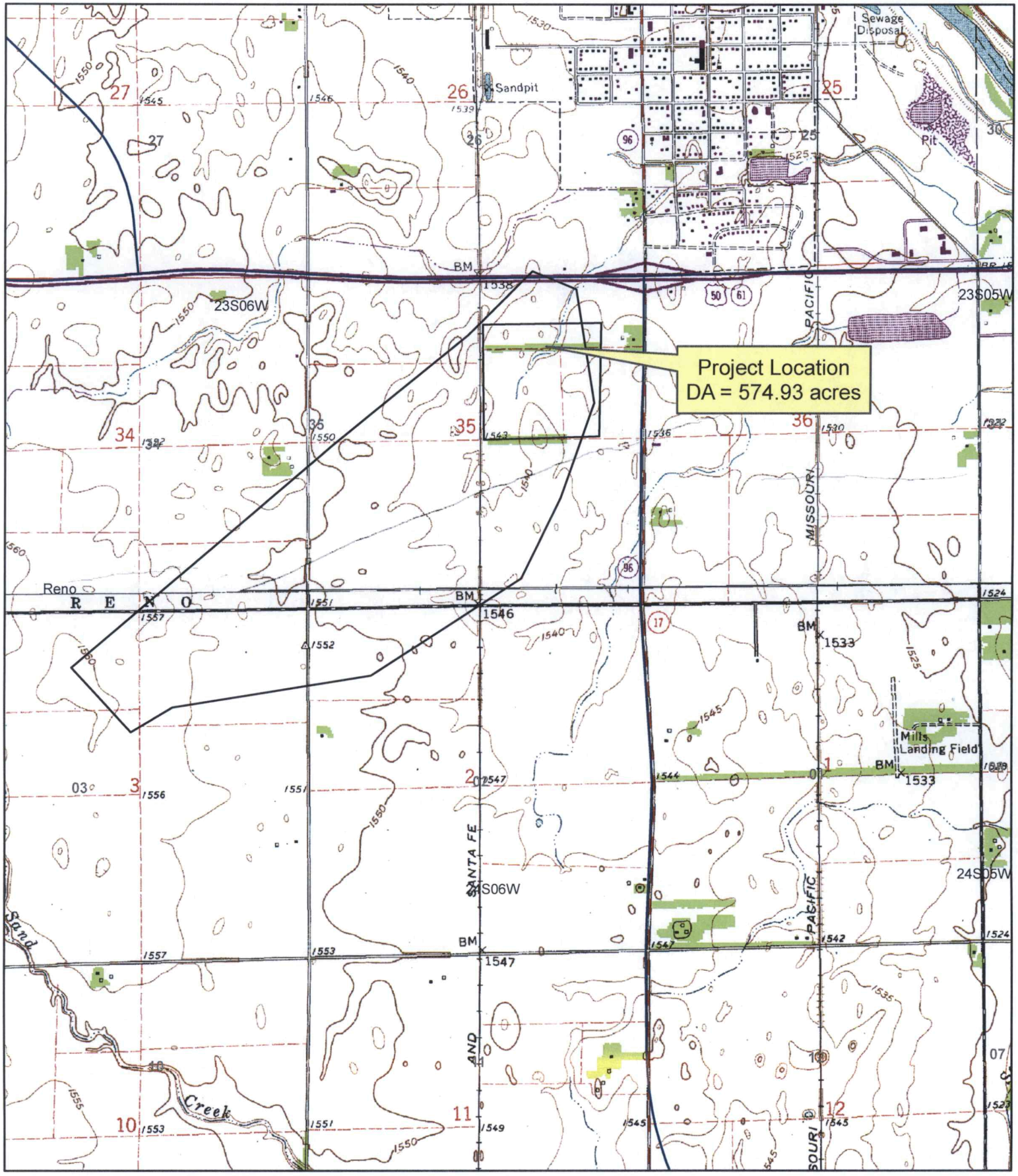

1:24,000

2,500 0 2,500 5,000

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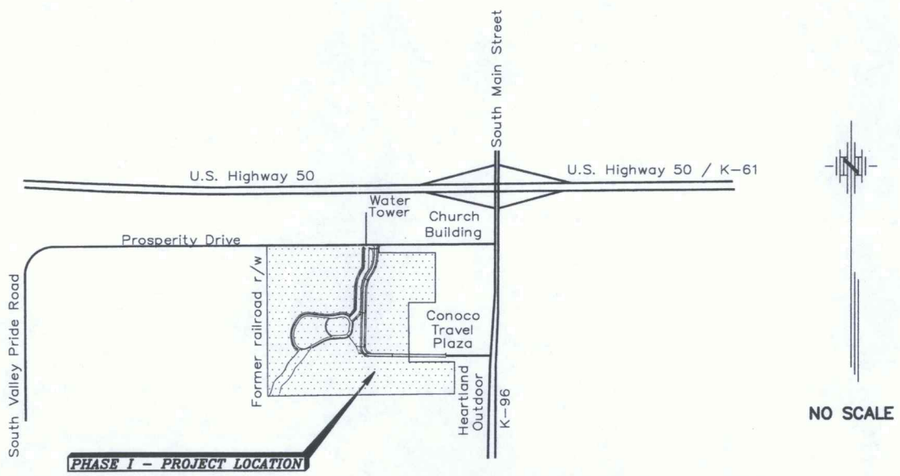
FRONTIER COMMERCE PARK
PHASE I – STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSAS
CED PROJ. NO. 20152287

INDEX



S O U T H H U T C H I N S O N

VICINITY MAP

(NOT TO SCALE)

2016

APPROXIMATE SUMMARY OF QUANTITIES

DESCRIPTION	TOTAL	UNITS
Common Excavation	38117	C.Y.
Compacted Fill(95% ASTM D–698)	16213	C.Y.
6" P.C. Concrete Pavement (4,000 psi)	6856	S.Y.
8" Reinforced Crushed Rock Base	8652	S.Y.
30" Standard Curb & Gutter(Layback?)	4441	L.F.
7" Reinforced Concrete Drive	67	S.Y.
Storm Sewer Manhole	4	Each
Type 22 Curb Inlets	10	Each
Inlet Hookup	10	Each
15" Storm Sewer Pipe(RCP) in place	270	L.F.
18" Storm Sewer Pipe(RCP) in place	1302	L.F.
24" Storm Sewer Pipe(RCP) in place	228	L.F.
30" Storm Sewer Pipe(RCP) in place	61	L.F.
15" Concrete End Section	3	Each
18" Concrete End Section	2	Each
24" Concrete End Section	2	Each
30 Concrete End Section	1	Each
12"Storm Sewer Pipe(CMP) in place	49	L.F.
24"Storm Sewer Pipe(CMP) in place	24	L.F.
12" CMP End Section	2	Each
24" CMP End Section	1	Each
12" CMP Flap Gate	2	Each
24" CMP Flap Gate	1	Each
24" Concrete Headwall w/ Flap Gate	2	Each
18" Concrete Headwall w/ Flap Gate	1	Each
Pond Sealing	1	L.S.
6" Rip–Rap(12" Depth)	182	S.Y.
12" Rip–Rap(24" Depth)	492	S.Y.
Pipeline Protection Structure(Sta.12+61)(100 l.f.)	1	Each
Pipeline Protection Structure(Sta.14+80)(10 l.f.)	1	Each
Pipeline Protection Structure(Sta.178+35)(50 l.f.)	1	Each
Erosion Control	1	L.S.
Temporary and Permanent Project Seeding(15.2 acres)	1	L.S.
Site Clearing and Restoration	1	L.S.

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KS DEPT OF AGRICULTURE
SCANN

CERTIFIED ENGINEERING DESIGN
1935 West Maple
Wichita, Kansas 67213
Harlan D. Foraker, P.E.
HARLAN DALE FORAKER LICENSED 10891 11-15-16 KANSAS PROFESSIONAL ENGINEER

GARBER SURVEYING SERVICE, P.A.
2908 North Plum
Hutchinson, Kansas 67502
Daniel E. Garber, R.L.S.
DANIEL E. GARBER REGISTERED LS-683 11-15-2016 KANSAS LAND SURVEYOR

WATER RESOURCES RECEIVED
DEC 02 2016
KS DEPT OF AGRICULTURE

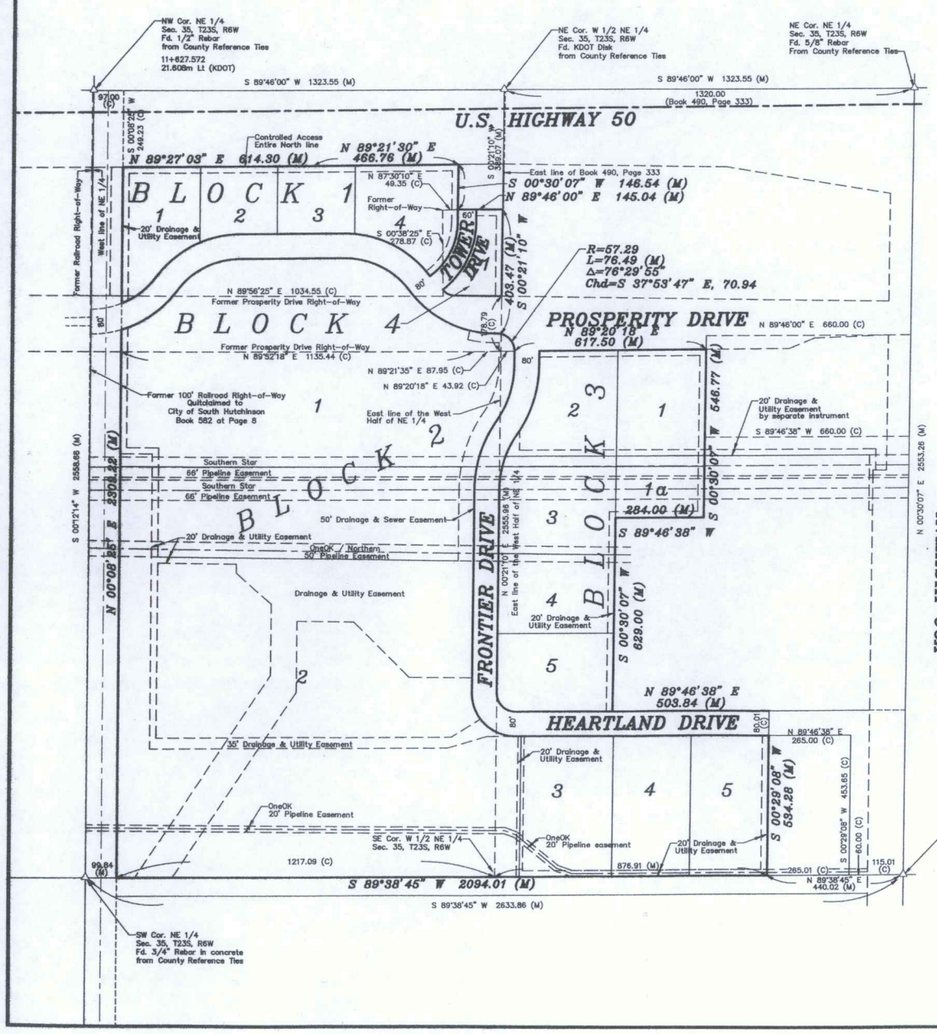
FRONTIER COMMERCE PARK
TITLE SHEET
STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSAS
CERTIFIED ENGINEERING DESIGN,
CED 1935 WEST MAPLE WICHITA, KANSAS 67213 PH.(316)262–8808 FAX.(316)262-

DESIGNED: HDF	SCALE: NONE	SH
DRAWN: WJA	DATE: 11/15/2016	
CHECKED: HDF	CED FILE: GSS G2014–767	TO

FINAL PLAT

FRONTIER COMMERCE PARK

A SUBDIVISION OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 23 SOUTH, RANGE 6 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF SOUTH HUTCHINSON, RENO COUNTY, KANSAS,



DESCRIPTION:

A portion of the Northeast Quarter of Section 35, Township 23 South, Range 6 West of the 6th Principal Meridian, Reno County, Kansas described as follows:

Commencing at the Northwest Corner of the Northeast Quarter of Section 35, Township 23 South, Range 6 West of the 6th Principal Meridian; thence with bearings based in the Kansas Coordinate System of 1983–South Zone, North 89°46'00" East along the North line of said Northwest Quarter 97.00 feet (County corner tie records) to the former East right–of–way line of the Burlington Northern and Santa Fe Railway Company (abandoned to the City of South Hutchinson by Quitclaim recorded in Book 582 at Page 8, Reno County deed records); thence South 00°08'25" West along said former East right–of–way line 249.23 feet to the South K–96 Highway right–of–way line for the Point of Beginning; thence North 89°27'03" East along said South right–of–way line 614.30 feet to a deflection point; thence North 89°21'30" East continuing along said South right–of–way line 466.76 feet to the West line of that certain parcel conveyed by deed recorded in Book 490 at Page 333, Reno County deed records; thence South 00°30'07" West along said West line 146.54 feet to the Southwest corner of said parcel; thence departing said West line North 89°46'00" East along the South line of said parcel 145.04 feet to the East line of the West Half of said Northeast Quarter; thence departing said South line South 00°21'10" West along said East line 403.47 feet to a point on a non–tangent curve; thence Southeasterly along said curve, said curve being concave to the Southwest and having a radius of 57.29 feet through central angle of 76°29'55" for an arc length of 76.49 feet, the chord of which bears South 37°53'47" East, 70.94 feet; thence North 89°20'18" East along the South right–of–way line of Prosperity Drive 617.50 feet; thence departing said South right–of–way line South 00°30'07" West 546.77 feet; thence South 89°46'38" West 284.00 feet; thence South 00°30'07" West 629.00 feet; thence North 89°46'38" East 503.84 feet; thence South 00°29'08" West 534.28 feet to the South line of said Northeast Quarter; thence South 89°38'45" West along said South line 2094.01 feet to the East line of said abandoned railroad right–of–way; thence North 00°08'25" East along said right–of–way line 2309.22 feet to the Point of Beginning containing 88.816 Acres subject to any easements of record.

SURVEYOR'S CERTIFICATE

State of Kansas)
County of Reno) SS

I, the undersigned, do hereby certify that I am a Registerd Land Surveyor in the State of Kansas, with the experience and proficiency in land surveying; that the heretofore described property was surveyed and subdivided by me, or under my supervision; that all subdivision regulations of the City of South Hutchinson, Kansas have been complied with in the preparation of this plat and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief.

9-14-2012
Date of Survey

Daniel E. Barber
Kansas L.S. No. 683

DANIEL E. BARBER LS-683 3-18-2014 KANSAS LAND SURVEYOR

Given under my hand and seal at Hutchinson, Kansas this 18th day of March A.D., 2014

REGISTER OF DEEDS CERTIFICATE: BONNIE RUEBKE
RENO COUNTY
REGISTER OF DEEDS
HUTCHINSON KS 67501

STATE OF KANSAS)
) SS
COUNTY OF RENO)

Recorded this 14th day of April, 20 14 A.D., at 3:00 A.M./P.M.
Fee Paid: $60.00 Filed in plat File: 8 Sleeve: 184 A

Bonnie Ruebke
Bonnie Ruebke, Register of Deeds

Entered in the transfer record this 14th day of April, 20 14

Donna Patton (Deputy County Clerk)
Donna Patton, County Clerk

CLOSURE TABLE
Northing = –0.0020
Easting = 0.0100
Precision=9371.21/0.0102=1: 918,746

-200 0 200 400 600

BASIS OF BEARING = KANSAS COORDINATE SYSTEM OF 1983 – SOUTH ZONE

LEGEND

- △ – Sectional Monument Found
- ● – 5/8" x 24" Iron Rebar Set w/G.S.S. Cap
- –x– – Fence
- (C) – Calculated
- (M) – Measured
- (PL) – Platted
- (PS) – Previous Survey
- P.O.B. – Point of Beginning
- P.O.C. – Point of Commencement

OWNER'S CERTIFICATE

State of Kansas)
County of Reno) SS

This is to certify that the undersigned, Frontier Land Management LLC, owns the land described in the plat and has caused the same to be surveyed and subdivided as indicated thereon, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated.

All streets shown on this plat are hereby dedicated to the public. An easement or license to the public to locate, construct and maintain or authorize the location, construction and maintenance of conduit, water, gas and sewerpipes or required drainage channels or structures upon the areas marked for easements on this plat are hereby granted.

FRONTIER LAND MANAGEMENT, L.L.C.

Richard Graber
Richard Graber

NOTARY CERTIFICATE

State of Kansas)
County of Reno) SS

Jackie Bailey, a Notary Public in and for said County, in the State aforesaid, do hereby certify that Richard Graber, Member of Frontier Land Management L.L.C. duly incorporated and existing under and by the virtue of the laws of the State of Kansas, who are subscribed to the foregoing instrument as such owners, appeared before me this day in person and acknowledged that he signed and delivered the plat as the free and voluntary act of said corporation, for the purpose therein set forth.

Given under my hand and Notarial Seal this 18th day of March A.D., 2014

JACKIE BAILEY
Notary Public - State of Kansas
My Appt. Expires 7-18-17

SOUTH HUTCHINSON CITY PLANNING COMMISSION CERTIFICATE

State of Kansas)
County of Reno) SS

Approved this 13 day of January A.D., 2014

SOUTH HUTCHINSON CITY PLANNING COMMISSION

Chairman

Attest: James Dull
Secretary

SOUTH HUTCHINSON CITY COUNCIL CERTIFICATE

State of Kansas)
County of Reno) SS

Approved this 21 day of January A.D., 2014

Mayor

Attest: Dennis McCue
city Clerk

COUNTY SURVEYOR'S CERTIFICATE

State of Kansas)
County of Reno) SS

I hereby certify that I have reviewed the surveyed plat and certify said plat to be in compliance with the requirements of K.S.A. 58–2005.

County Surveyor

OWNER'S CERTIFICATE AND SIGNATURE

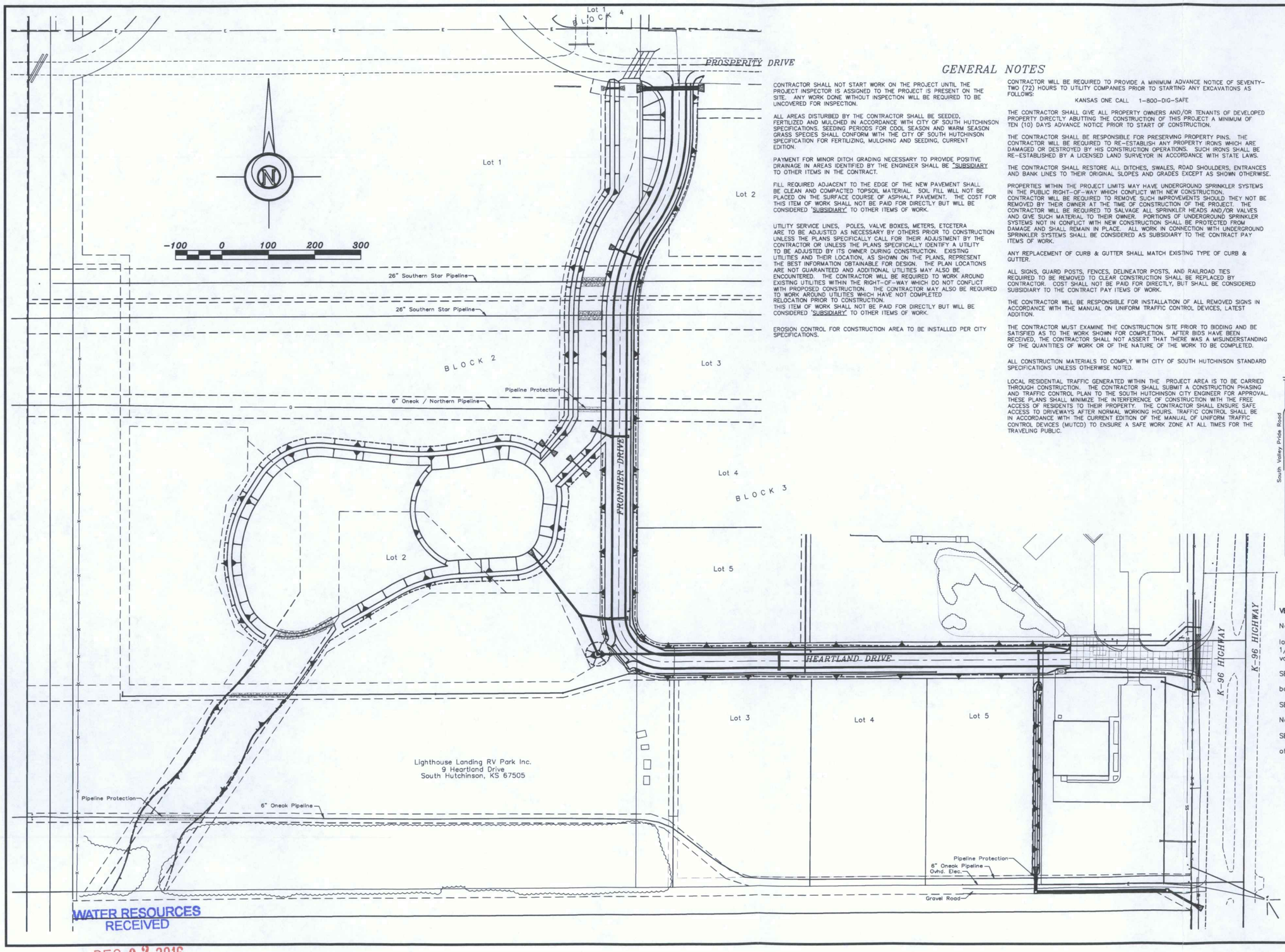
WATER RESOURCES RECEIVED
DEC 02 2016
KS DEPT OF AGRICULTURE

SCANNED

Prepared For: FRONTIER COMMERCE PARK	Description: IN THE NORTHEAST 1/4 SECTION 35, T23S, R6W, 6TH P.M. SOUTH HUTCHINSON, RENO COUNTY, KANSAS
Prepared By: GSS Garber Surveying Service, P.A. — HUTCHINSON (Main Office) 2908 North Plum St. 67502 Ph. 620-663-7032 Fax 620-663-7481; McPHERSON (Branch Office) 115 East Marlin 67460 Ph. 620-241-4441 Fax 620-241-4458; NEWTON (Branch Office) 511 North Poplar St. 67114 Ph. 316-283-5953 Fax 316-283-5073	
Drawn By: DWJ Scale: 1"=100' Date of Field Work: Sept. 14, 2012 Job No:	
Checked By: DEG Date: 02/27/2014 Sheet 1 of 3 Sheet(s) G2012-431	

FRONTIER COMMERCE PARK
FINAL PLAT
STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSAS

CERTIFIED ENGINEERING DESIGN, P
1935 WEST MAPLE
WICHITA, KANSAS 67213
PH.(316)262–8808 FAX.(316)262–



GENERAL NOTES

CONTRACTOR SHALL NOT START WORK ON THE PROJECT UNTIL THE PROJECT INSPECTOR IS ASSIGNED TO THE PROJECT IS PRESENT ON THE SITE. ANY WORK DONE WITHOUT INSPECTION WILL BE REQUIRED TO BE UNCOVERED FOR INSPECTION.

ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH CITY OF SOUTH HUTCHINSON SPECIFICATIONS. SEEDING PERIODS FOR COOL SEASON AND WARM SEASON GRASS SPECIES SHALL CONFORM WITH THE CITY OF SOUTH HUTCHINSON SPECIFICATION FOR FERTILIZING, MULCHING AND SEEDING, CURRENT EDITION.

PAYMENT FOR MINOR DITCH GRADING NECESSARY TO PROVIDE POSITIVE DRAINAGE IN AREAS IDENTIFIED BY THE ENGINEER SHALL BE "SUBSIDIARY" TO OTHER ITEMS IN THE CONTRACT.

FILL REQUIRED ADJACENT TO THE EDGE OF THE NEW PAVEMENT SHALL BE CLEAN AND COMPACTED TOPSOIL MATERIAL. SOIL FILL WILL NOT BE PLACED ON THE SURFACE COURSE OF ASPHALT PAVEMENT. THE COST FOR THIS ITEM OF WORK SHALL NOT BE PAID FOR DIRECTLY BUT WILL BE CONSIDERED "SUBSIDIARY" TO OTHER ITEMS OF WORK.

UTILITY SERVICE LINES, POLES, VALVE BOXES, METERS, ETCETERA ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE PLAN LOCATIONS ARE NOT GUARANTEED AND ADDITIONAL UTILITIES MAY ALSO BE ENCOUNTERED. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION. THE CONTRACTOR MAY ALSO BE REQUIRED TO WORK AROUND UTILITIES WHICH HAVE NOT COMPLETED RELOCATION PRIOR TO CONSTRUCTION.
THIS ITEM OF WORK SHALL NOT BE PAID FOR DIRECTLY BUT WILL BE CONSIDERED "SUBSIDIARY" TO OTHER ITEMS OF WORK.

EROSION CONTROL FOR CONSTRUCTION AREA TO BE INSTALLED PER CITY SPECIFICATIONS.

CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO (72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATIONS AS FOLLOWS:

KANSAS ONE CALL 1-800-DIG-SAFE

THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY DIRECTLY ABUTTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS ADVANCE NOTICE PRIOR TO START OF CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY PINS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.

THE CONTRACTOR SHALL RESTORE ALL DITCHES, SWALES, ROAD SHOULDERS, ENTRANCES AND BANK LINES TO THEIR ORIGINAL SLOPES AND GRADES EXCEPT AS SHOWN OTHERWISE.

PROPERTIES WITHIN THE PROJECT LIMITS MAY HAVE UNDERGROUND SPRINKLER SYSTEMS IN THE PUBLIC RIGHT-OF-WAY WHICH CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REMOVE SUCH IMPROVEMENTS SHOULD THEY NOT BE REMOVED BY THEIR OWNER AT THE TIME OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE REQUIRED TO SALVAGE ALL SPRINKLER HEADS AND/OR VALVES AND GIVE SUCH MATERIAL TO THEIR OWNER. PORTIONS OF UNDERGROUND SPRINKLER SYSTEMS NOT IN CONFLICT WITH NEW CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND SHALL REMAIN IN PLACE. ALL WORK IN CONNECTION WITH UNDERGROUND SPRINKLER SYSTEMS SHALL BE CONSIDERED AS SUBSIDIARY TO THE CONTRACT PAY ITEMS OF WORK.

ANY REPLACEMENT OF CURB & GUTTER SHALL MATCH EXISTING TYPE OF CURB & GUTTER.

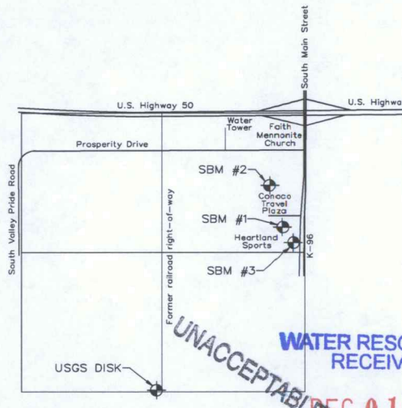
ALL SIGNS, GUARD POSTS, FENCES, DELINEATOR POSTS, AND RAILROAD TIES REQUIRED TO BE REMOVED TO CLEAR CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR. COST SHALL NOT BE PAID FOR DIRECTLY, BUT SHALL BE CONSIDERED SUBSIDIARY TO THE CONTRACT PAY ITEMS OF WORK.

THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REMOVED SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST ADDITION.

THE CONTRACTOR MUST EXAMINE THE CONSTRUCTION SITE PRIOR TO BIDDING AND BE SATISFIED AS TO THE WORK SHOWN FOR COMPLETION. AFTER BIDS HAVE BEEN RECEIVED, THE CONTRACTOR SHALL NOT ASSERT THAT THERE WAS A MISUNDERSTANDING OF THE QUANTITIES OF WORK OR OF THE NATURE OF THE WORK TO BE COMPLETED.

ALL CONSTRUCTION MATERIALS TO COMPLY WITH CITY OF SOUTH HUTCHINSON STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.

LOCAL RESIDENTIAL TRAFFIC GENERATED WITHIN THE PROJECT AREA IS TO BE CARRIED THROUGH CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION PHASING AND TRAFFIC CONTROL PLAN TO THE SOUTH HUTCHINSON CITY ENGINEER FOR APPROVAL. THESE PLANS SHALL MINIMIZE THE INTERFERENCE OF CONSTRUCTION WITH THE FREE ACCESS OF RESIDENTS TO THEIR PROPERTY. THE CONTRACTOR SHALL ENSURE SAFE ACCESS TO DRIVEWAYS AFTER NORMAL WORKING HOURS. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) TO ENSURE A SAFE WORK ZONE AT ALL TIMES FOR THE TRAVELING PUBLIC.



VERTICAL AND HORIZONTAL PROJECT CONTROL

N=1798070.7750 E=1470973.5000
USGS Azimuth Mark disk set in concrete post stamped "Fair
located 27 feet North of the centerline of West Morgan Avenue ap
1/2 mile West of K-61 and 50 feet West of the former AT&SF rai
vacated & razed). Elevation=1546.73

SBM #1 N=1801078.7487 E=1473213.7076
Square cut on the Southwest corner of a concrete pad for a
box that is 163ft west of the entrance to Heartland Outdoor Store
Elevation=1538.65

SBM #2 N=1801844.4099 E=1472976.1589
Blue capped rebar in concrete 167ft West and 84ft North of
Northeast corner of the Conoco Plaza Go truck parking lot.
Elevation=1540.26

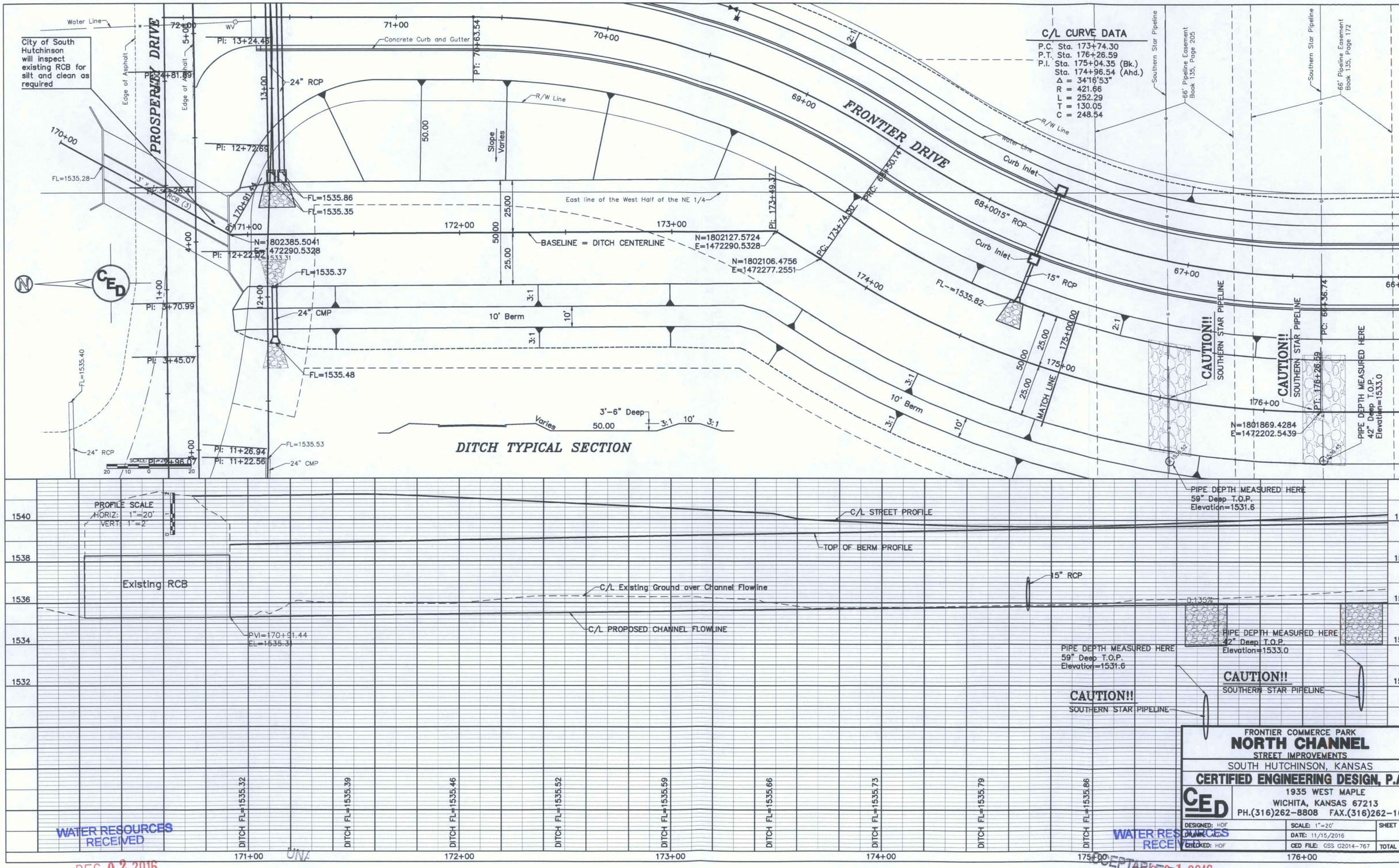
SBM #3 N=1800795.5778 E=1473408.4049
Blue square cut in the South edge of the concrete and 205
of the Southwest corner of the Heartland Outdoor concrete parking
Elevation=1537.11

FRONTIER COMMERCE PARK
LAYOUT SHEET
STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSAS

CERTIFIED ENGINEERING DESIGN,
1935 WEST MAPLE
WICHITA, KANSAS 67213
PH.(316)262-8808 FAX.(316)26

DESIGNED: HDF	SCALE: 1"=100'
DRAWN: WJA	DATE: 11/15/2016
CHECKED: HDF	CED FILE: GSS G2014-767

WATER RESOURCES RECEIVED
DEC 02 2016
KS DEPT OF AGRICULTURE
UNACCEPTABLE FOR PR
WATER RESO RECEIV
DEC 01
KS DEPT OF AGR
SCANN

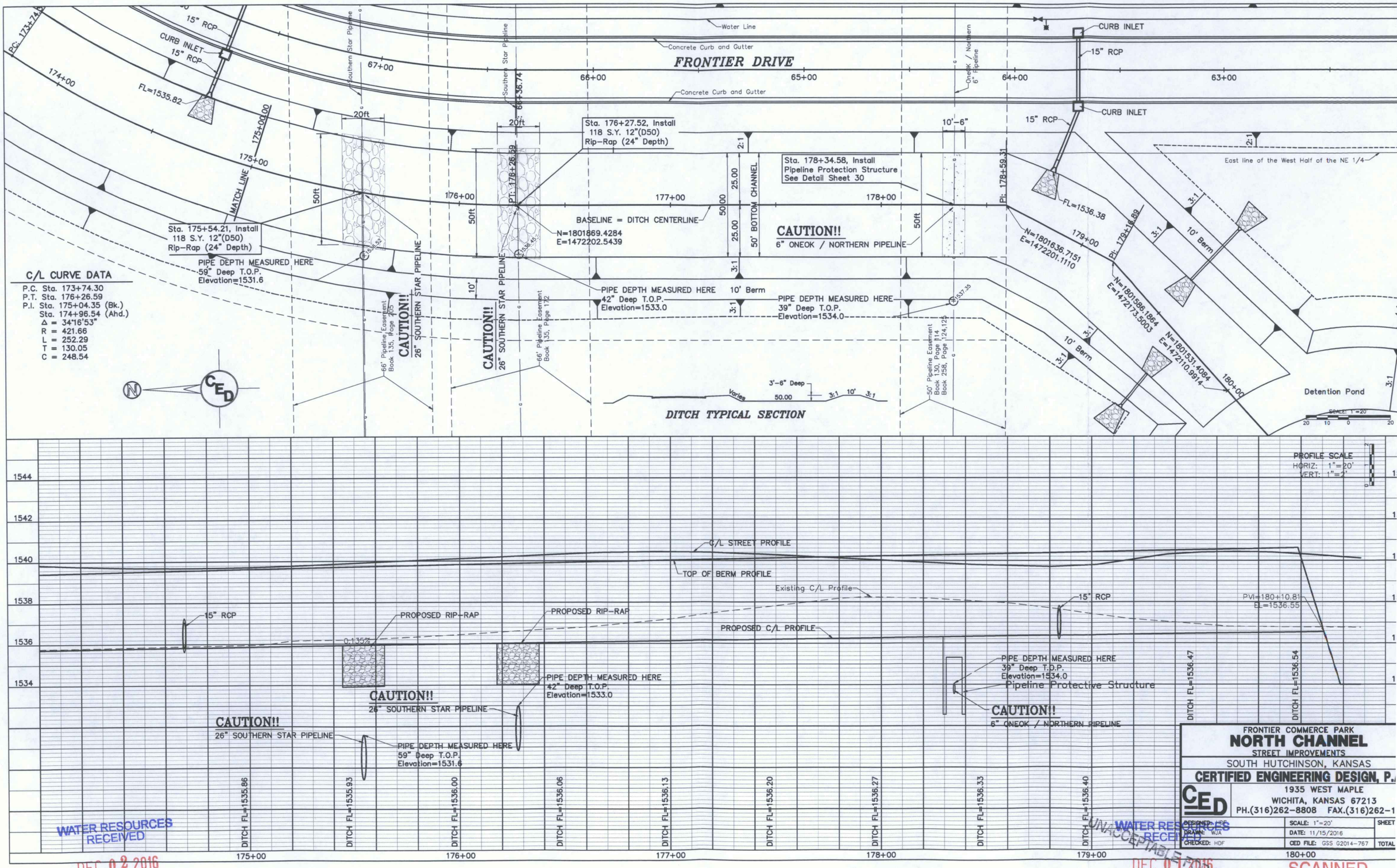


WATER RESOURCES RECEIVED
DEC 02 2016
KS DEPT OF AGRICULTURE

WATER RESOURCES RECEIVED
DEC 01 2016
KS DEPT OF AGRICULTURE

ACCEPTABLE FOR PRIORITY

SCANNED


FRONTIER DRIVE
Water Line
Concrete Curb and Gutter
Concrete Curb and Gutter
CURB INLET
15" RCP
CURB INLET
15" RCP
CURB INLET
15" RCP
15" RCP
P.C. 173+74.30
174+00
175+00
175+00.00
MATCH LINE
FL=1535.82
67+00
66+00
65+00
64+00
63+00
Southern Star Pipeline
Southern Star Pipeline
ONEOK / Northern 6" Pipeline
P.T. 176+26.59
176+00
177+00
178+00
179+00
180+00
Pi: 178+59.31
Pi: 179+16.89
20ft
20ft
50ft
50ft
50ft
10'-6"
Sta. 176+27.52, Install
118 S.Y. 12"(D50)
Rip-Rap (24" Depth)
Sta. 178+34.58, Install
Pipeline Protection Structure
See Detail Sheet 30
Sta. 175+54.21, Install
118 S.Y. 12"(D50)
Rip-Rap (24" Depth)
BASELINE = DITCH CENTERLINE
N=1801869.4284
E=1472202.5439
50.00
25.00
25.00
50' BOTTOM CHANNEL
CAUTION!!
6" ONEOK / NORTHERN PIPELINE
2:1
3:1
10'
10' Berm
PIPE DEPTH MEASURED HERE
59" Deep T.O.P.
Elevation=1531.6
PIPE DEPTH MEASURED HERE
42" Deep T.O.P.
Elevation=1533.0
PIPE DEPTH MEASURED HERE
39" Deep T.O.P.
Elevation=1534.0
CAUTION!!
26" SOUTHERN STAR PIPELINE
66' Pipeline Easement
Book 130, Page 105
66' Pipeline Easement
Book 130, Page 112
50' Pipeline Easement
Book 130, Page 114
Book 258, Page 124.125
FL=1536.38
N=1801636.7151
E=1472201.1110
N=1801586.1864
E=1472173.5003
N=1801531.4084
E=1472110.9914
East line of the West Half of the NE 1/4
Detention Pond
SCALE: 1"=20'
C/L CURVE DATA
P.C. Sta. 173+74.30
P.T. Sta. 176+26.59
P.I. Sta. 175+04.35 (Bk.)
Sta. 174+96.54 (Ahd.)
Δ = 34°16'53"
R = 421.66
L = 252.29
T = 130.05
C = 248.54
3'-6" Deep
Varies
50.00
DITCH TYPICAL SECTION
PROFILE SCALE
HORIZ: 1"=20'
VERT: 1"=2'
1544
1542
1540
1538
1536
1534
C/L STREET PROFILE
TOP OF BERM PROFILE
Existing C/L Profile
PROPOSED C/L PROFILE
15" RCP
15" RCP
15" RCP
PROPOSED RIP-RAP
PROPOSED RIP-RAP
0.135%
PVI=180+10.81
EL=1536.55
PIPE DEPTH MEASURED HERE
42" Deep T.O.P.
Elevation=1533.0
PIPE DEPTH MEASURED HERE
39" Deep T.O.P.
Elevation=1534.0
Pipeline Protective Structure
CAUTION!!
26" SOUTHERN STAR PIPELINE
CAUTION!!
26" SOUTHERN STAR PIPELINE
CAUTION!!
6" ONEOK / NORTHERN PIPELINE
PIPE DEPTH MEASURED HERE
59" Deep T.O.P.
Elevation=1531.6
DITCH FL=1535.86
DITCH FL=1535.93
DITCH FL=1536.00
DITCH FL=1536.06
DITCH FL=1536.13
DITCH FL=1536.20
DITCH FL=1536.27
DITCH FL=1536.33
DITCH FL=1536.40
DITCH FL=1536.47
DITCH FL=1536.54
175+00
176+00
177+00
178+00
179+00
180+00
FRONTIER COMMERCE PARK
NORTH CHANNEL
STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSAS
CERTIFIED ENGINEERING DESIGN, P.A.
1935 WEST MAPLE
WICHITA, KANSAS 67213
PH.(316)262-8808 FAX.(316)262-1
DESIGNED: HDF
DRAWN: WJA
CHECKED: HDF
SCALE: 1"=20'
DATE: 11/15/2016
CED FILE: GSS G2014-767
SHEET
TOTAL
WATER RESOURCES RECEIVED
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WATER RESOURCES RECEIVED
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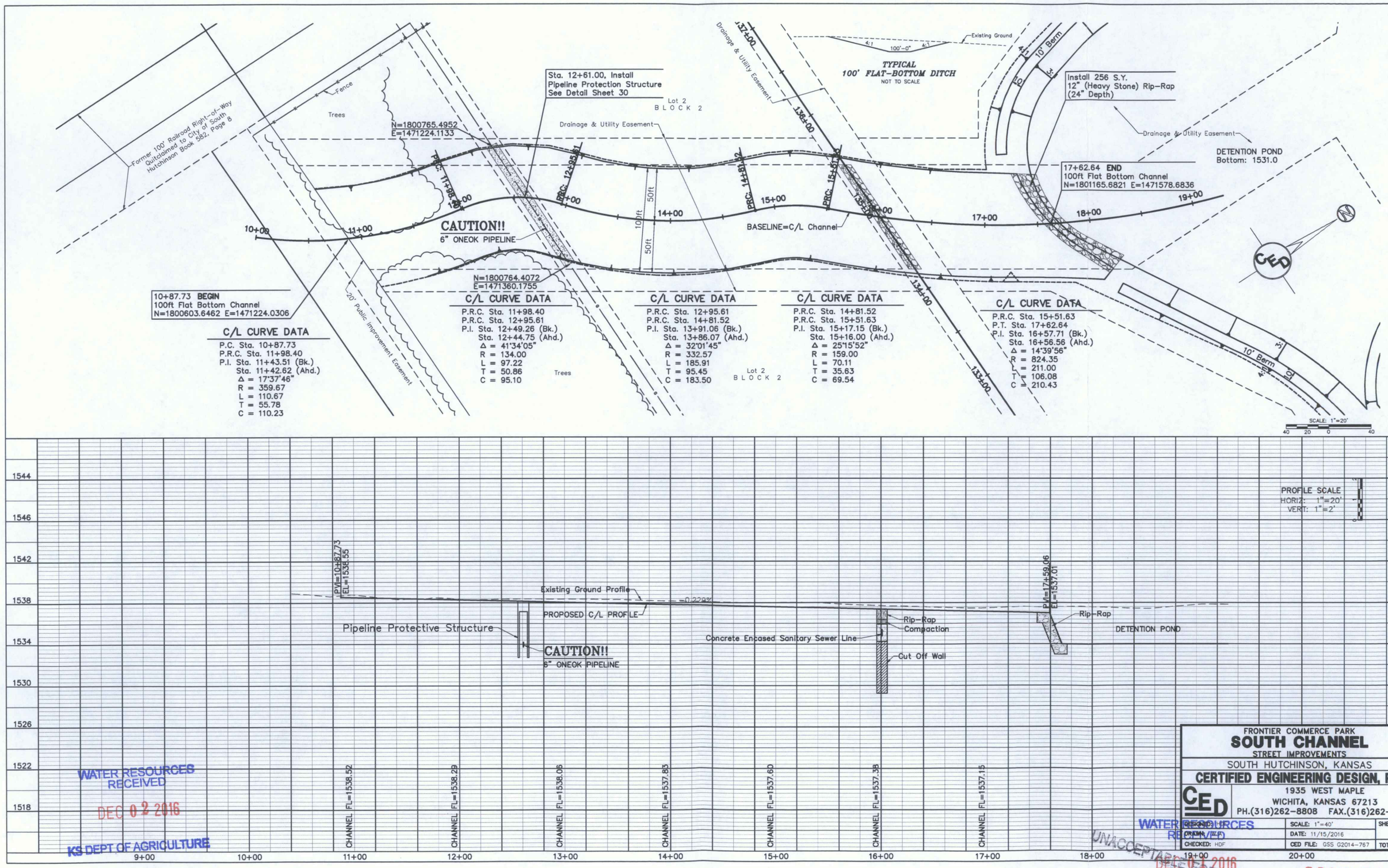
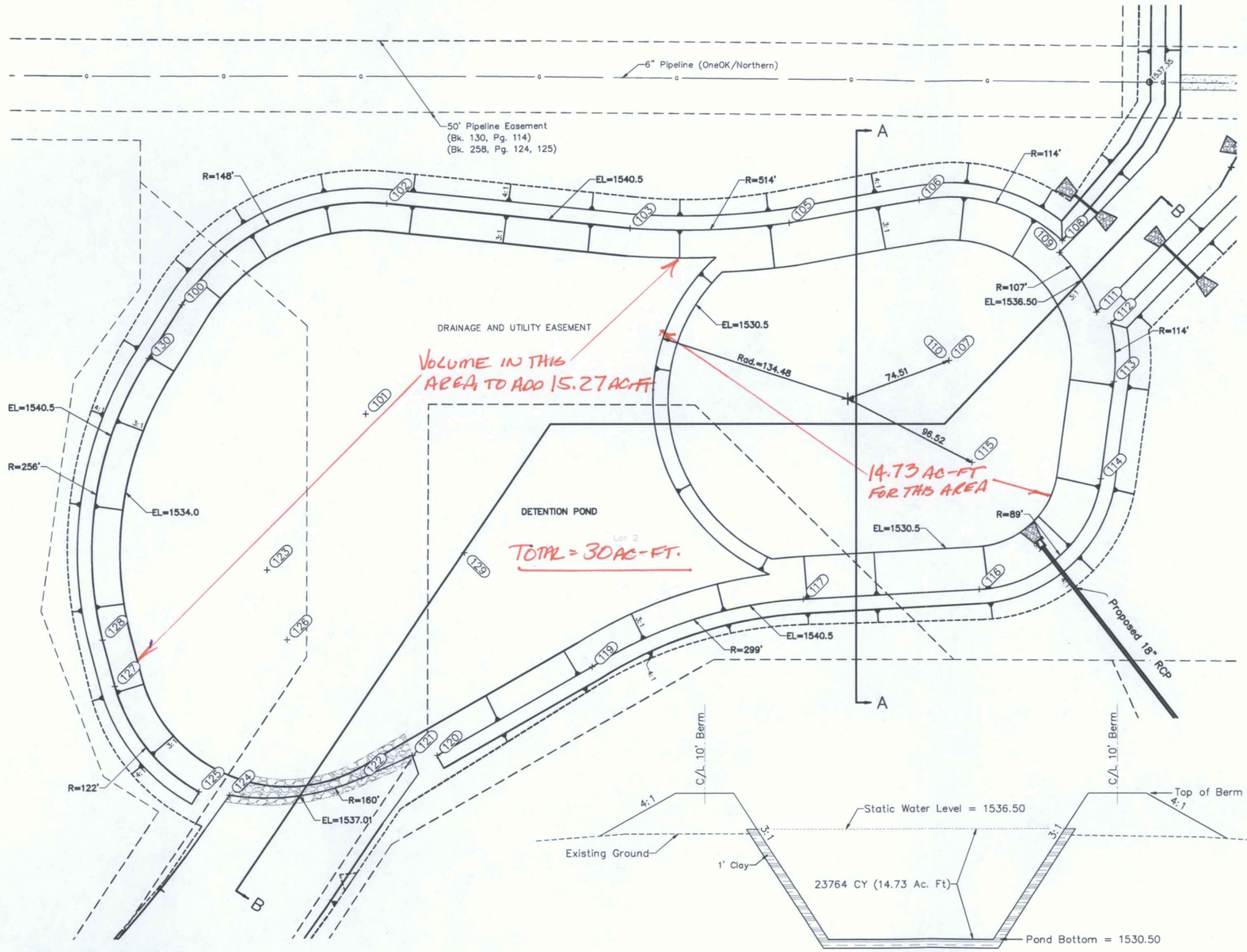
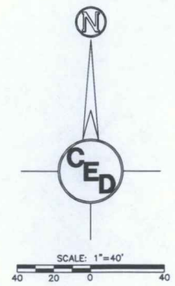
UNACCEPTABLE FOR PRIORITY
SCANNED


Former 100' Railroad Right-of-Way Quitclaimed to City of South Hutchinson Book 582, Page 8
Fence
Trees
N=1800765.4952
E=1471224.1133
Sta. 12+61.00, Install Pipeline Protection Structure See Detail Sheet 30
Lot 2 BLOCK 2
Drainage & Utility Easement
TYPICAL 100' FLAT-BOTTOM DITCH
NOT TO SCALE
Existing Ground
4:1
100'-0"
10' Berm
Install 256 S.Y. 12" (Heavy Stone) Rip-Rap (24" Depth)
DETENTION POND Bottom: 1531.0
17+62.64 END
100ft Flat Bottom Channel
N=1801165.6821 E=1471578.6836
PRC. 11+98.40
PRC. 12+95.61
PRC. 14+81.52
PRC. 15+51.63
10+00
11+00
12+00
13+00
14+00
15+00
16+00
17+00
18+00
19+00
137+00
136+00
135+00
134+00
133+00
10ft
50ft
50ft
CAUTION!!
6" ONEOK PIPELINE
BASELINE=C/L Channel
N=1800764.4072
E=1471360.1755
20' Public Improvement Easement
10+87.73 BEGIN
100ft Flat Bottom Channel
N=1800603.6462 E=1471224.0306
C/L CURVE DATA
P.C. Sta. 10+87.73
P.R.C. Sta. 11+98.40
P.I. Sta. 11+43.51 (Bk.)
Sta. 11+42.62 (Ahd.)
Δ = 17°37'46"
R = 359.67
L = 110.67
T = 55.78
C = 110.23
C/L CURVE DATA
P.R.C. Sta. 11+98.40
P.R.C. Sta. 12+95.61
P.I. Sta. 12+49.26 (Bk.)
Sta. 12+44.75 (Ahd.)
Δ = 41°34'05"
R = 134.00
L = 97.22
T = 50.86
C = 95.10
C/L CURVE DATA
P.R.C. Sta. 12+95.61
P.R.C. Sta. 14+81.52
P.I. Sta. 13+91.06 (Bk.)
Sta. 13+86.07 (Ahd.)
Δ = 32°01'45"
R = 332.57
L = 185.91
T = 95.45
C = 183.50
C/L CURVE DATA
P.R.C. Sta. 14+81.52
P.R.C. Sta. 15+51.63
P.I. Sta. 15+17.15 (Bk.)
Sta. 15+16.00 (Ahd.)
Δ = 25°15'52"
R = 159.00
L = 70.11
T = 35.63
C = 69.54
C/L CURVE DATA
P.R.C. Sta. 15+51.63
P.T. Sta. 17+62.64
P.I. Sta. 16+57.71 (Bk.)
Sta. 16+56.56 (Ahd.)
Δ = 14°39'56"
R = 824.35
L = 211.00
T = 106.08
C = 210.43
SCALE: 1"=20'
40 20 0 40
PROFILE SCALE
HORIZ: 1"=20'
VERT: 1"=2'
1544
1546
1542
1538
1534
1530
1526
1522
1518
PVI=10+87.73
EL=1538.55
PVI=17+59.06
EL=1537.01
Existing Ground Profile
-0.229%
PROPOSED C/L PROFILE
Pipeline Protective Structure
CAUTION!!
6" ONEOK PIPELINE
Concrete Encased Sanitary Sewer Line
Rip-Rap Compaction
Cut Off Wall
Rip-Rap
DETENTION POND
CHANNEL FL=1538.52
CHANNEL FL=1538.29
CHANNEL FL=1538.06
CHANNEL FL=1537.83
CHANNEL FL=1537.60
CHANNEL FL=1537.38
CHANNEL FL=1537.15
9+00
10+00
11+00
12+00
13+00
14+00
15+00
16+00
17+00
18+00
19+00
20+00
FRONTIER COMMERCE PARK
SOUTH CHANNEL
STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSAS
CERTIFIED ENGINEERING DESIGN, P.A.
1935 WEST MAPLE
WICHITA, KANSAS 67213
PH.(316)262-8808 FAX.(316)262-1
DESIGNED:
DRAWN: WFD
CHECKED: HDF
SCALE: 1"=40'
DATE: 11/15/2016
CED FILE: GSS G2014-767
SHEET
TOTAL
WATER RESOURCES RECEIVED
DEC 02 2016
KS DEPT OF AGRICULTURE
WATER RESOURCES RECEIVED
DEC 01 2016
KS DEPT OF AGRICULTURE
UNACCEPTABLE FOR PRIORITY
SCANNED



UTILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL UTILITIES MAY BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.



DETENTION POND COORD LIST				
Pnt. No.	Northing	Easting	Elevation	Description
100	1801508.67	1471490.24	1540.5	Berm Top
101	1801431.40	1471616.16	1531.0	148ft, Rad. Pt.
102	1801578.40	1471630.94	1540.5	Berm Top
103	1801560.40	1471797.80	1540.5	Berm Top
104	1802072.67	1471835.92	–	514ft, Rad. Pt.
105	1801563.93	1471907.04	1540.5	Berm Top
106	1801580.31	1471996.62	1540.5	Berm Top
107	1801467.87	1472017.31	1531.0	114ft, Rad. Pt.
108	1801551.45	1472095.32	1540.5	Berm Top
109	1801543.16	1472093.37	1536.5	Berm Top
110	1801468.02	1472017.53	1531.0	107ft, Rad. Pt.
111	1801501.80	1472118.80	1536.5	Berm Top
112	1801493.83	1472128.66	1540.5	Berm Top
113	1801453.21	1472130.70	1540.5	Berm Top
114	1801385.28	1472121.82	1540.5	Berm Top
115	1801396.74	1472033.33	1531.0	89ft, Rad. Pt.
116	1801307.66	1472038.37	1540.5	Berm Top
117	1801300.85	1471916.91	1540.5	Berm Top
118	1801002.12	1471933.77	–	299ft, Rad. Pt.
119	1801253.66	1471771.74	1540.5	Berm Top
120	1801191.80	1471664.57	1540.5	Berm Top
121	1801191.94	1471647.46	1538.2	Berm Top
122	1801176.23	1471612.16	1538.2	Berm Top
123	1801322.58	1471547.64	1531.0	160ft, Rad. Pt.
124	1801164.88	1471520.98	1538.2	Berm Top
125	1801167.29	1471500.05	1540.5	Berm Top
126	1801273.45	1471561.10	1531.0	122ft, Rad. Pt.
127	1801241.63	1471442.84	1540.5	Berm Top
128	1801274.03	1471434.53	1540.5	Berm Top
129	1801333.98	1471683.82	1531.0	256ft, Rad. Pt.
130	1801471.33	1471467.32	1540.5	Berm Top

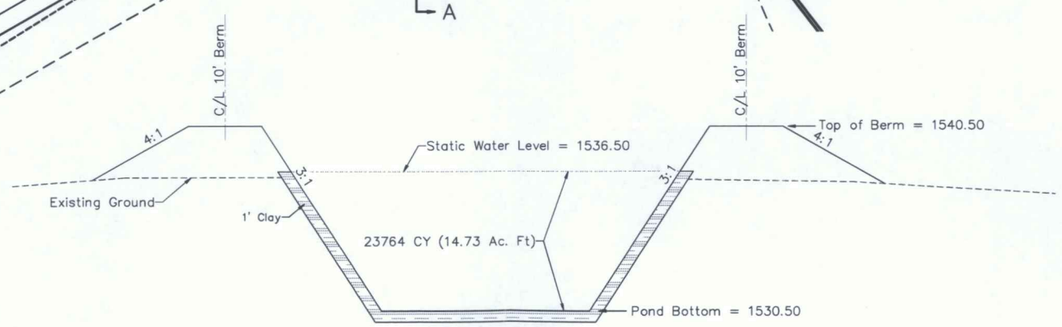
POND CONSTRUCTION SEQUENCE

1. Pond Bottom and side slopes below static water elevation shall be over-excavat 1' and a 1' clay liner installed and compacted to 95% std. Density in 2-6" Lifts The plasticity index shall be at least 30. The compaction and P.I. shall be verifi during construction. P.I. determination and compaction testing shall be arrange the contractor at the request of the inspector. Cost shall be subsidiary to "Clay Liner Construction". Estimated liner is 7191 C.Y.'s.

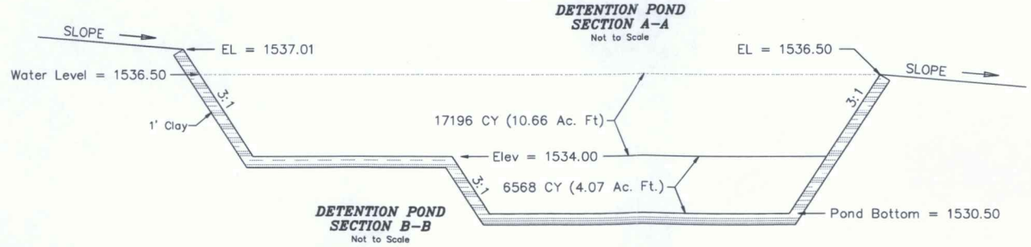
   Ground water control, if required for completion of excavation, is subsidiary to "Clay Liner Construction".

2. All Reserves above the static water elevation shall be seeded and mulched as follows: (Permanent Seeding)
   SEED: Kansas Premium Fescue Blend, 8#/1000 Sq. Ft.
   FERTILIZER: 12-24-12 Ratio @ 350 Lbs./Acre
   MULCH: Prairie Hay, 2 Tons/Acre

3. Contractor to strip top 6" of soil before mass grading and stockpile. Top soil stockpile to be redistributed over entire disturbed area excluding street right-of-way and ponds to achieve planned grade.



DETENTION POND SECTION A-A
Not to Scale



DETENTION POND SECTION B-B
Not to Scale

VERTICAL AND HORIZONTAL PROJECT CONTROL:

N=1798070.7750 E=1470973.5000
USGS Azimuth Mark disk set in concrete post stamped "Fair Az Mk" located 27 feet North of the centerline of West Morgan Avenue approximately 1/2 mile West of K-61 and 50 feet West of the former AT&SF railroad (now vacated & razed). Elevation=1546.73 (NAVD88)

SBM #1 N=1801078.7487 E=1473213.7076
Square cut on the Southwest corner of a concrete pad for an electric box that is 163ft west of the entrance to Heartland Outdoor Store. Elevation=1538.65 (NAVD88)

SBM #2 N=1801844.4099 E=1472976.1589
Blue capped rebar in concrete 167ft West and 84ft North of the Northeast corner of the Conoco Plaza Go truck parking lot. Elevation=1540.26 (NAVD88)

SBM #3 N=1800795.5278 E=1473[illegible]4049
Square cut on the South edge of the concrete and 205 feet East of the Southwest corner of the Heartland Outdoor concrete parking lot. Elevation=1537.11 (NAVD88)

FRONTIER COMMERCE PARK
PROPOSED POND
STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSAS

CERTIFIED ENGINEERING DESIGN, P.A.
1935 WEST MAPLE
WICHITA, KANSAS 67213
PH.(316)262-8808 FAX.(316)262-1

DESIGNED: HDF	SCALE: 1"=40'	SHEET
DRAWN: WJA/JAK	DATE: 11/15/2016	
CHECKED: HDF	CED FILE: GSS G2014-767	TOTAL

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KS DEPT OF AGRICULTURE

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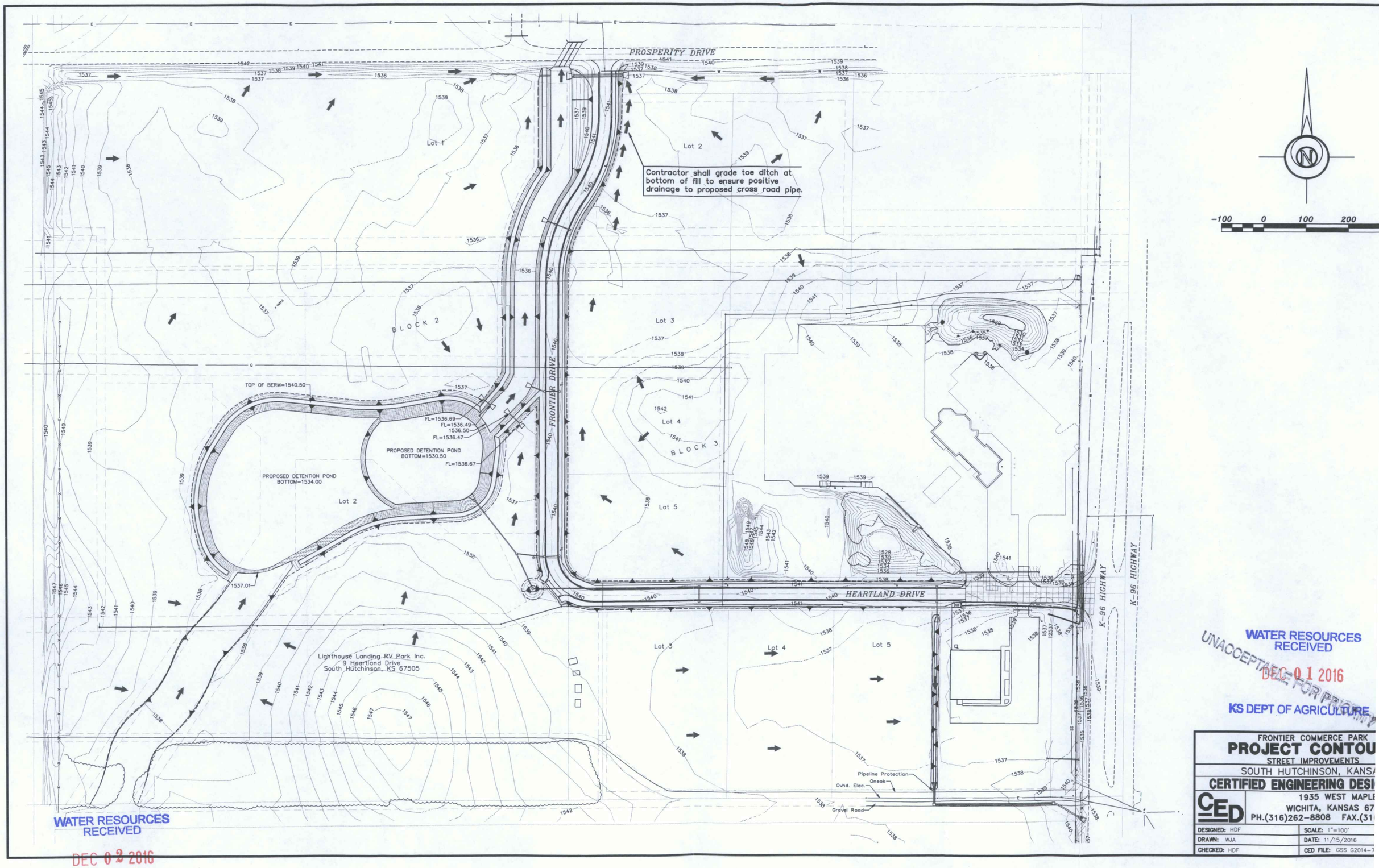

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UNACCEPTABLE FOR PROGRAM

FRONTIER COMMERCE PARK
PROJECT CONTOU
STREET IMPROVEMENTS
SOUTH HUTCHINSON, KANSA
CERTIFIED ENGINEERING DESI
CED
1935 WEST MAPLE
WICHITA, KANSAS 67
PH.(316)262-8808 FAX.(31

DESIGNED: HDF	SCALE: 1"=100'
DRAWN: WJA	DATE: 11/15/2016
CHECKED: HDF	CED FILE: GSS G2014-7

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KS DEPT OF AGRICULTURE

SCANNED